

# MONMOUTH COUNTY PARK SYSTEM



## ROOF REPLACEMENT & CHIMNEY REPAIRS OF BLDG. #544 AT THOMPSON PARK, HOLMDEL, NJ

53 LONGBRIDGE RD, HOLMDEL, NJ, 07733

MONMOUTH COUNTY PARK SYSTEM  
BOARD OF PARK AND RECREATION COMMISSIONERS  
805 NEWMARK SPRINGS ROAD  
LINDROFF, NEW JERSEY 07738-1965  
PHONE: (202) 842-4000 FAX: (202) 842-3640

PROJECT # 231180

CHECKED : M.T.

DRAWN : M.T.

DATE 2024

REVISION	DATE
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ROOF REPLACEMENT & CHIMNEY REPAIRS OF BLDG#544 AT THOMPSON PARK, HOLMDEL, NJ

COVER SHEET

TITLE:

SHEET NO.:

CS-1.0

### SUMMARY OF WORK

- REMOVE ALL EXISTING SHINGLES, FLASHINGS, UNDERLAYMENT FROM EACH ROOF SECTION, REPLACE ALL GUTTERS AND DOWNSPOUTS. REPLACE ALL DETERIORATED PLYWOOD SHEATHING WITHIN THE FIELD OF THE ROOF WITH APA RATED CDX PLYWOOD TO MATCH EXISTING THICKNESS. AT CONDITIONS WHERE THE TRUSSES/RAFTERS ARE GREATER THAN 16" ON CENTER, INSTALL PLYWOOD SHEATHING H CLIPS, CENTERED BETWEEN TRUSSES/RAFTERS. TRIM PLYWOOD AS NECESSARY. SHEATHING TO BE NAILED PER THE APPLICABLE INTERNATIONAL BUILDING CODE AT 6" ON CENTER AT THE EDGES AND 12" ON CENTER IN THE FIELD.  
**NOTE: A ALLOWANCE PROVIDED BASED ON DAMAGED PLYWOOD. SUBJECT TO MEASUREMENT AND APPROVAL BY THE MCPs INSPECTOR. REFER TO THE PROPOSAL PAGE UNIT PRICE #2 FOR FURTHER DETAILS.**
- INSTALL NEW GAF WEATHER WATCH LEAK BARRIER MANUFACTURED BY GAF (OR APPROVED EQUAL) ON HIP RIDGES, VALLEYS, AND AREAS SHOWN ON DETAILS & REQUIRED IN ROOF INSTRUCTION. .
- INSTALL NEW ALUMINUM DRIP EDGE ON EAVES AND RAKES AS PER MANUFACTURER'S INSTRUCTIONS. METAL TO BE INSTALLED UNDER THE SELF-ADHERING LEAK BARRIER AT ROOF EAVES AND EXTEND BEHIND THE GUTTERS AND OVER THE UNDERLAYMENT AT ROOF RAKES.
- AS PER MANUFACTURERS WRITTEN INSTRUCTIONS, INSTALL NEW GAF TIMBERLINE HDZ SHINGLES, GAF TIMBERTEX HIP/RIDGE SHINGLES AND GAF PRO STARTER STRIPS AND NEW 5" X 5" X 8" ALUMINUM STEP FLASHING (COLOR TO MATCH ADJACENT MATERIAL APPROVED BY OWNER) WITH 5" HEIGHT UP WALL AND 5" HORIZONTALLY OVER SHINGLE ON ROOF DECK. REFER TO 2/A2.0
- INSTALL NEW SNOW COUNTRY RIDGE VENT AT ALL RIDGES IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, MAINTAINING 12" CLEARANCE FROM THE END OF RIDGES. CUT THE EXISTING EOOD DECKING BACK ALONG THE RIDGE TO ALLOW AIRFLOW THROUGH THE OPENING.
- INSTALL CHIMNEY CRICKET USING #2 KILN DRIED STUD GRADE DOUGLAS FIR (2"x6" FOR RAFTERS) AND RIDGE BEAMS AND 2"x4" FOR RAFTERS) AND FASTENED WITH 3" RING SHANK NAILS (SEE PLAN SPECIFICATIONS FOR FASTENING DETAILS). FRAMED CRICKET TO BE COVERED WITH 1/2" APA RATED CDX PLYWOOD USING 1 1/2" RING SHANK NAILS (SEE PLAN SPECIFICATIONS FOR FASTENING DETAILS). ALL COMPLETED CRICKETS SHALL EXTEND A MINIMUM 6" UP THE BACK OF THE CHIMNEY AND 12" UP THE ROOF PLANE.
- INSTALL NEW GAF WEATHER WATCH LEAK BARRIER OVER ENTIRE CHIMNEY CRICKET AND ABUTTING CHIMNEY WALL, AND ON ADJACENT ROOF DECK.
- AT BRICK CHIMNEYS, CUT A 2" DEEP REGLET INTO THE MASONRY AT A MINIMUM OF 8" FROM THE ROOF DECK. INSTALL NEW 24-GAUGE PVC COATED ALUMINUM COUNTER FLASHING INTO THE REGLET AND OVER THE ROOF STEP FLASHING. SEAL REGLET CUT WITH SIKAFLEX 15 LM SEALANT (OR APPROVED EQUAL). COLOR OF COUNTER FLASHING AND SEALANT TO MATCH EXISTING MASONRY AS CLOSELY AS POSSIBLE.
- EXISTING BATH ROOF VENT CAP TO BE REPLACED WITH FAMCO BKXP BATHROOM ROOF VENT WITH EXTENSION AND SCREEN OR APPROVED EQ. COLOR TO MATCH ROOF SHINGLES. REFER TO 10/A2.0 AS PER MANUFACTURER'S INSTRUCTIONS. WWW.FAMCOMFG.COM/WP-CONTENT/UPLOADS/2021/04/SPECS\_BK4-10.PDF
- INSTALL NEW ALUMINUM 6" SEAMLESS GUTTERS AND 3" X 4" DOWNSPOUTS (.032 THICK) (COLOR AND CONFIGURATION TO MATCH EXISTING),REFER TO 7,8/A2.0
- GUTTERS TO BE INSTALLED WITH HIDDEN ALUMINUM SCREW TYPE HANGERS A MAXIMUM OF 30" O.C. AND PROVIDE A 1/4"/10' SLOPE TOWARD DOWNSPOUTS.
- END CAPS AND MITERED CORNERS SHALL BE SEALED WITH MANUFACTURERS RECOMMENDED PRODUCT.
- DOWNSPOUTS SHALL BE INSTALLED AS PER MANUFACTURERS WRITTEN INSTRUCTIONS. DOWNSPOUTS SHALL MATCH GUTTER FINISH AND INCLUDE ALL NECESSARY ELBOWS AND EXTENSIONS TO MATCH EXISTING INSTALLATIONS.
- REINSTALL/REPLACE ANY ITEMS TEMPORARILY REMOVED OR DAMAGED.
- REPAIR, RESTORE AND CLEAN ALL AREAS DISTURBED OR DAMAGED BY CONSTRUCTION.
- PROVIDE A 5-YEAR WORKMANSHIP WARRANTY ON ALL WORK PROVIDED.
- ALL REMOVED MATERIALS SHALL BE PROPERLY AND LEGALLY DISPOSED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AND LAWS.
- AT LOCATIONS WHERE THE ROOF SUBSTRATE OR SHEATHING IS IN POOR CONDITION OR DAMAGED, THE SHEATHING SHALL BE REMOVED AND REPLACED WITH MATERIAL THAT IS EQUIVALENT IN PROPERTIES TO THE EXISTING MATERIALS. DAMAGED AREA SHOULD BE MEASURED AND APPROVED BY MCPs INSPECTOR
- REMOVE AND REPLACE ALL EXISTING ROOF PENETRATION FLASHINGS WITH NEW MATERIALS. INSTALL NEW GAF WEATHER WATCH LEAK BARRIER AROUND PENETRATIONS PRIOR TO FLASHING.
- REPAIR THREE CHIMNEYS BRICK FACE AS NOTED ON ROOF PLAN, ABOVE THE ROOF PART
- CONTRACTOR IS REQUIRED TO CALL 1-800-272-1000 THREE DAYS PRIOR TO START OF CONSTRUCTION TO LOCATE ALL UTILITIES. MCPs UNDERGROUND UTILITIES MAY EXISTING IN AREA. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF THE NEED FOR A MARK-OUT AND SHALL NOT PROCEED UNTIL RECEIVING APPROVAL FROM THE OWNER. INSTALL HDPE DOWNSPOUT BOOT TO MATCH GUTTERS. CONNECT BOOT TO EXISTING UNDERGROUND DRAINAGE OR INSTALL PROPOSED UNDERGROUND DRAINAGE, AS IDENTIFIED IN DRAWINGS.

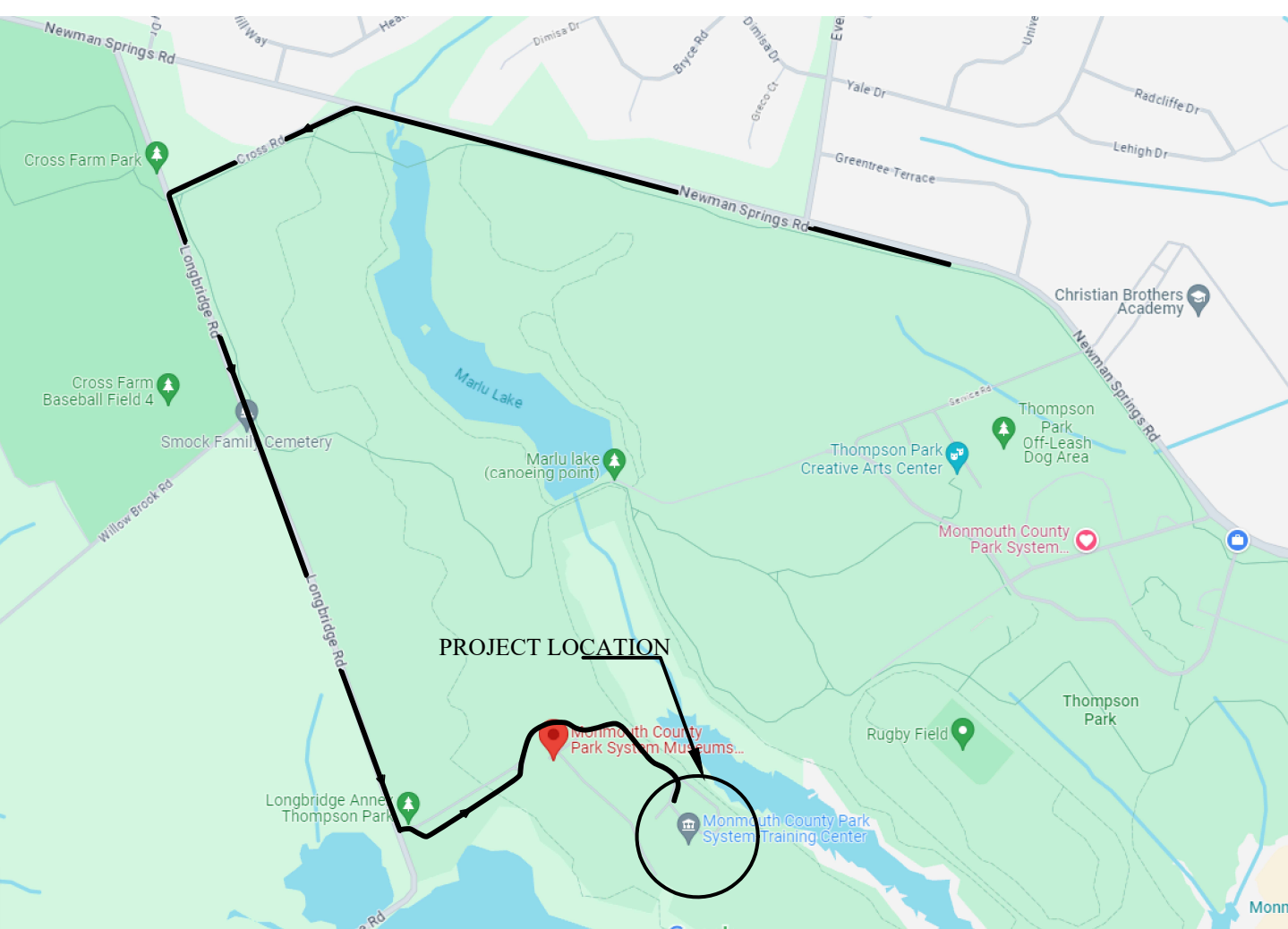
### INDEX OF DRAWINGS

CS-1.0	COVER SHEET
A-1.0	ROOF PLAN
A-2.0	ROOF & DRAINAGE DETAIL
A-2.1	CHIMNEY DETAIL

### NOTE

BIDS WITH MORE THAN 5 REFERENCES AND LACKING CHIMNEY BRICK REPOINTING EXPERIENCE WILL NOT BE CONSIDERED

### AERIAL MAP



LATITUDE & LONGITUDE: 40°19'40.8"N 74°09'06.8"W



### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD
			WEATHERING	FROST LINE DEPT	TERMITE	DECAY			
20 PSF	120 MPH	C	SEVERE	36"	HEAVY	MODERATE	14	YES	N/A

### CONTACT INFORMATION

PROJECT MANAGER:  
MARYAM TRONCO,  
MARYAM.TRONCO@CO.MONMOUTH.NJ.US  
TEL: 732-842-4000, EXT. 4272

PARK SUPER ATTENDANCE:  
DAN BITS  
DANIEL.BISTI@CO.MONMOUTH.NJ.US  
TEL: 732.842.4000 EXT. 4293

### BUILDING CRITERIA

THIS PROJECT IS DESIGNED IN ACCORDANCE WITH NJAC TITLE 5 CHAPTER 23 SUBCHAPTER 6 "UNIFORM CONSTRUCTION CODE REHABILITATION SUBCODE" CATEGORY OF WORK PURSUANT TO NJAC 5:23-6.3 CATEGORY OF WORK: RENOVATION USE GROUP: S CONSTRUCTION CLASSIFICATION: VB HEIGHT: NO CHANGE BUILDING AREA: NO CHANGE

**CODES AND STANDARDS:**  
N.J.A.C. 5:23-6.1 REHABILITATION SUBCODE 2021  
INTERNATIONAL BUILDING CODE, 2021, NEW JERSEY EDITION  
NATIONAL ELECTRICAL CODE (NEC) (NFPA70) 2020  
ASHRAE 90,1 - 2019

### GENERAL CONDITION

- THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF THE OWNER TO USE AS HE/SHE SEES FIT. THESE DRAWINGS SHALL NOT BE USED WITHOUT THE OWNER CONSENT. DRAWINGS SHALL NOT BE USED FOR ISSUE OF BUILDING PERMITS UNLESS SIGNED AND SEALED. DRAWINGS SHALL NOT BE PROTOTYPED WITHOUT AUTHORIZATION FROM THE OWNER. UNLESS STATED SPECIFICALLY BY LETTER, THESE DRAWINGS MAY BE USED TO CONSTRUCT ONLY ONE OF THE STRUCTURE/BUILDING DELINEATED HEREIN.
- THESE DRAWINGS REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN ARRANGEMENT AND METHOD OF ASSEMBLY OF THE VARIOUS COMPONENTS. THESE DRAWINGS DO NOT INDICATE EXTENSIVE DETAILS. THE CONTRACTOR SHALL HAVE REVIEWED THESE PLANS, SEEN THE SUBJECT PROPERTY AND BE CAPABLE OF EXECUTING THE DETAIL WORK NECESSARY TO ACHIEVE THE INTENDED RESULT IN A MANNER CONSISTENT WITH QUALITY WORKMANSHIP WITHIN THE REGION. IT IS INCUMBENT UPON THE CONTRACTOR TO REPORT IN WRITING TO THE OWNER PRIOR TO SUBMISSION OF THE BID ANY QUESTIONABLE ERROR OR OMISSION IN INTENT OR METHOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL CONFORM TO THESE AND ANY OTHER APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, REGULATIONS, ORDINANCES AND REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO ACCEPTED GOOD PRACTICE AS DEFINED BY THE LATEST EDITIONS OF "THE NATIONAL BUILDING CODE", B.O.C.A. BASIC BUILDING CODE, C.A.B.O. AND F.H.A. MINIMUM PROPERTY STANDARDS. ALL ARE READILY AVAILABLE TO THE TRADES.
- CONSTRUCTION SHOWN SHALL CONFORM TO ALL APPLICABLE BUILDING CODES. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- MODIFICATIONS TO THESE PLANS BY THE CONTRACTOR SHALL NOT BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER. A COPY OF SUCH CHANGES SHALL BE FILED WITH THE CONSTRUCTION OFFICIAL. ANY MODIFICATIONS MADE WITHOUT THE OWNER'S WRITTEN CONSENT WILL BE THE SOLE RESPONSIBILITY OF THE PARTY ENACTING SUCH MODIFICATIONS.
- THE CONTRACTOR SHALL HOLD HARMLESS THE OWNER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
- THE FOLLOWING, UNLESS PROVIDED FOR IN THESE DRAWINGS, SHALL BE FURNISHED BY THE OWNER:
  - DRAINAGE, UTILITIES AND BUILDING LOCATION.
  - SELECTION OF MATERIAL FINISHES, CABINETS AND HARDWARE.
  - STANDARDS OF QUALITY AND ACCEPTABLE MANUFACTURERS FOR PREFABRICATED ITEMS.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL OF THE PLANS, DIMENSIONS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL NOT SCALE THE DRAWINGS. NOTIFY OWNER OF ANY DISCREPANCIES IN THE PLANS PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN AND LOCAL AUTHORITIES.
- ALL CONTRACTORS TO PROVIDE ALL NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND TO STRICTLY ADHERE TO LOCAL, STATE AND O.S.H.A. SAFETY PRECAUTIONS.
- ALL CONTRACTORS SHALL MAINTAIN CONTRACTORS LIABILITY, PROPERTY DAMAGE INSURANCE AND WORKERS COMPENSATION INSURANCE TO FULLY PROTECT THE OWNER AND CONTRACTOR AGAINST ANY CLAIMS. THE CONTRACTOR SHALL FURNISH TO THE OWNER CERTIFICATES THAT THESE POLICIES ARE IN EFFECT.
- THE CONTRACTORS SHALL TAKE NECESSARY STEPS TO PROTECT THE WORK AND ALL MATERIALS AND SUPPLIES ON THE CONSTRUCTION SITE AGAINST LOSS OR DAMAGE FROM FIRE, VANDALISM AND MALICIOUS MISCHIEF AT ALL TIMES.
- ALL CONTRACTORS AND SUB-CONTRACTORS MUST COMPLY WITH ALL SPECIFICATIONS, NOTES AND DRAWINGS. IN MOST INSTANCES, IF THE SPECIFICATIONS DIFFER FROM THE DRAWINGS, THE DRAWINGS SHALL SUPERCEDE. NOTIFY OWNER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
- ALL CONTRACTORS AND SUB-CONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE JOB SITE.
- ALL MATERIALS AND EQUIPMENT SHALL BE APPROVED FOR USE AS REQUIRED BY GOVERNING MUNICIPAL, STATE AND FEDERAL AGENCIES AND SHALL BEAR ALL REQUIRED CONDITIONS.





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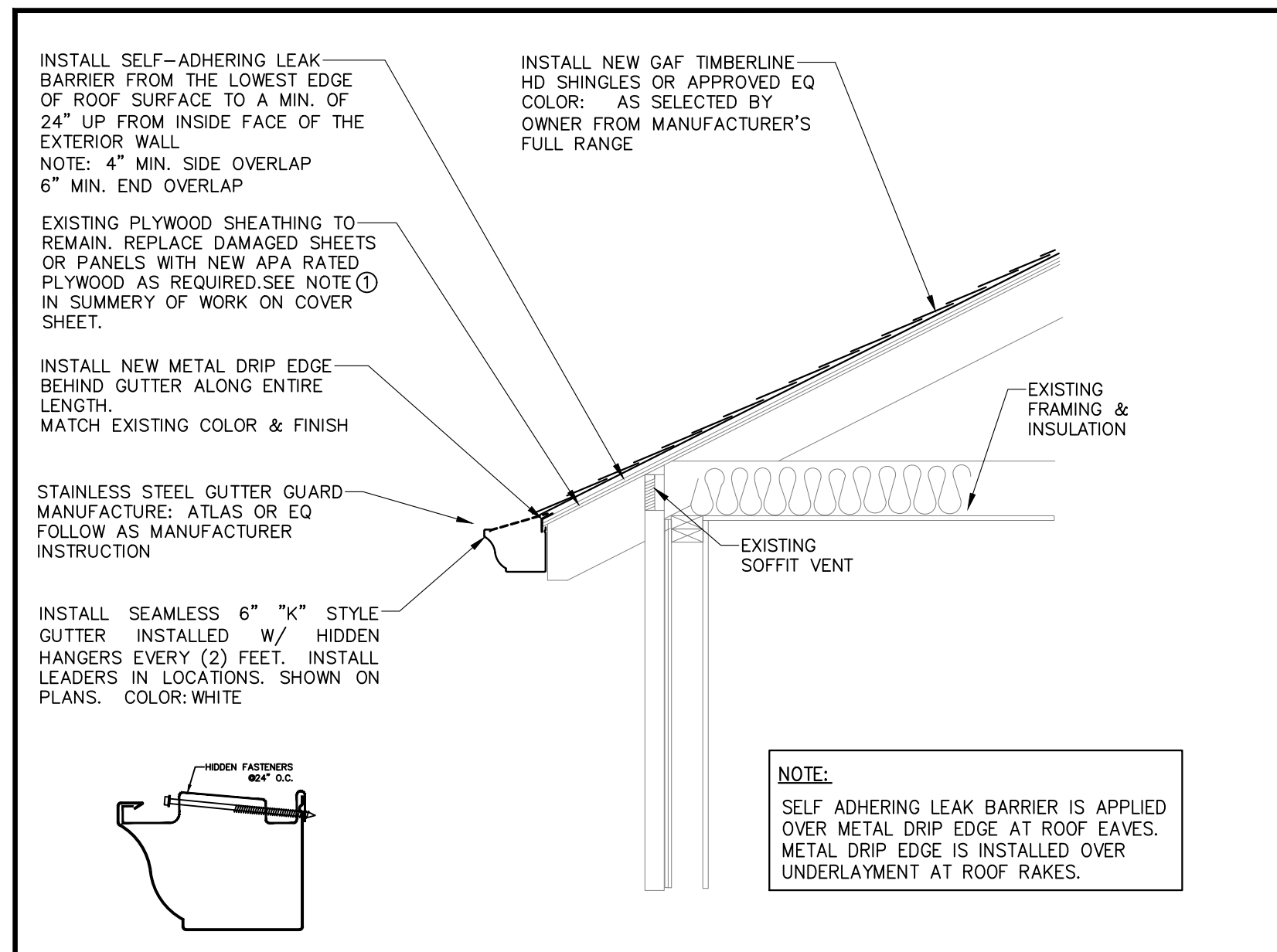
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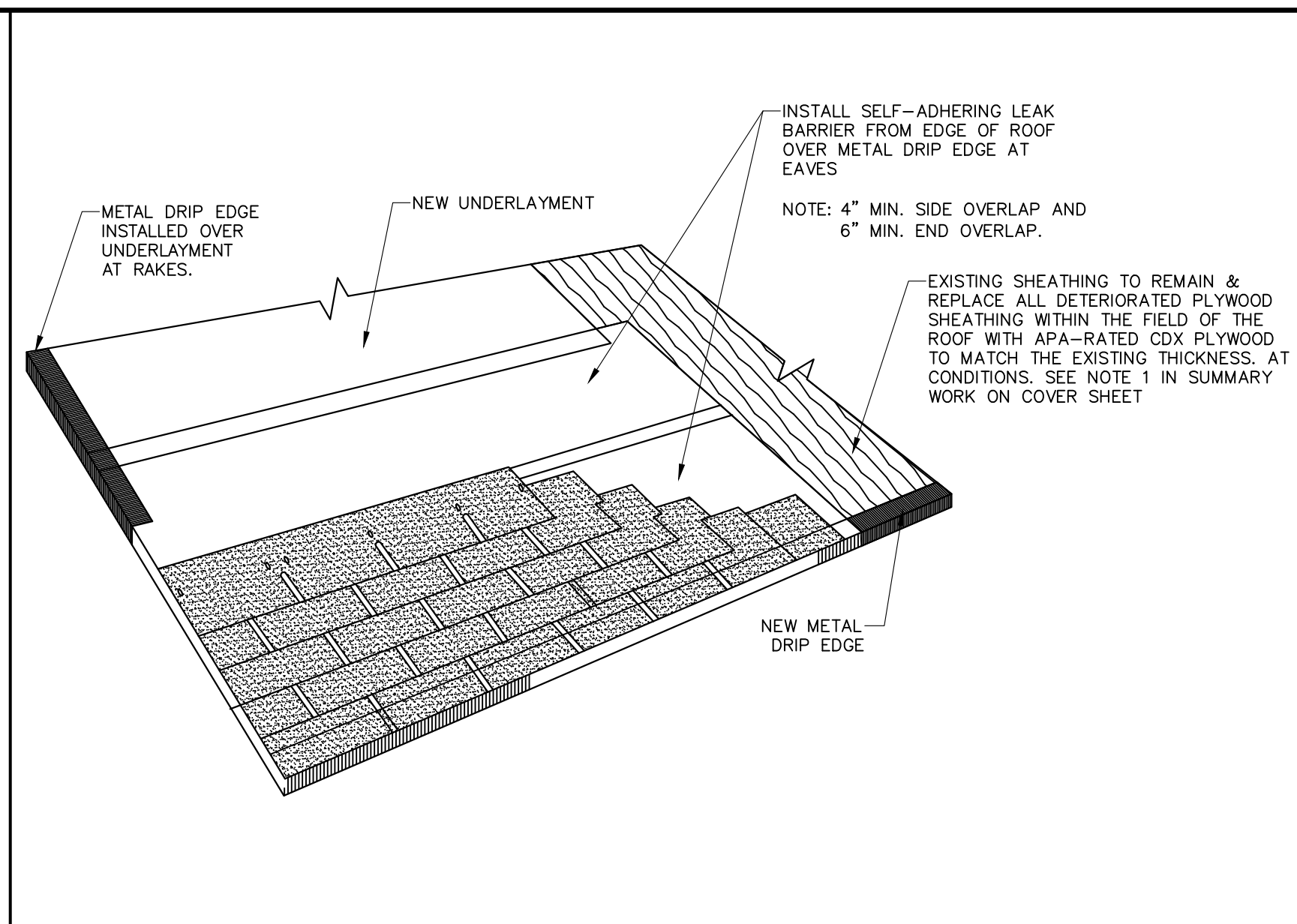
ROOF & DRAINAGE DETAILS

TITLE:

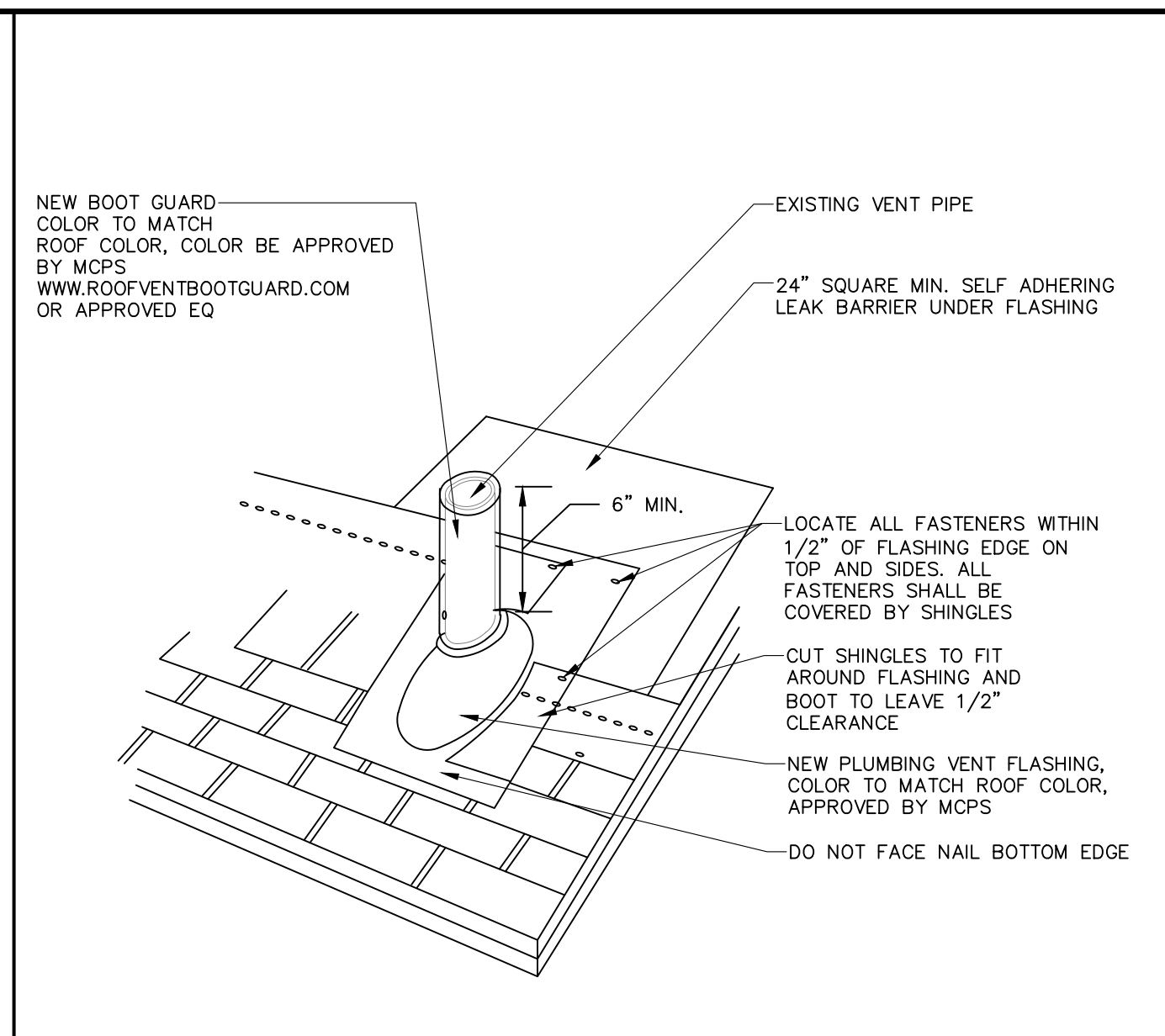
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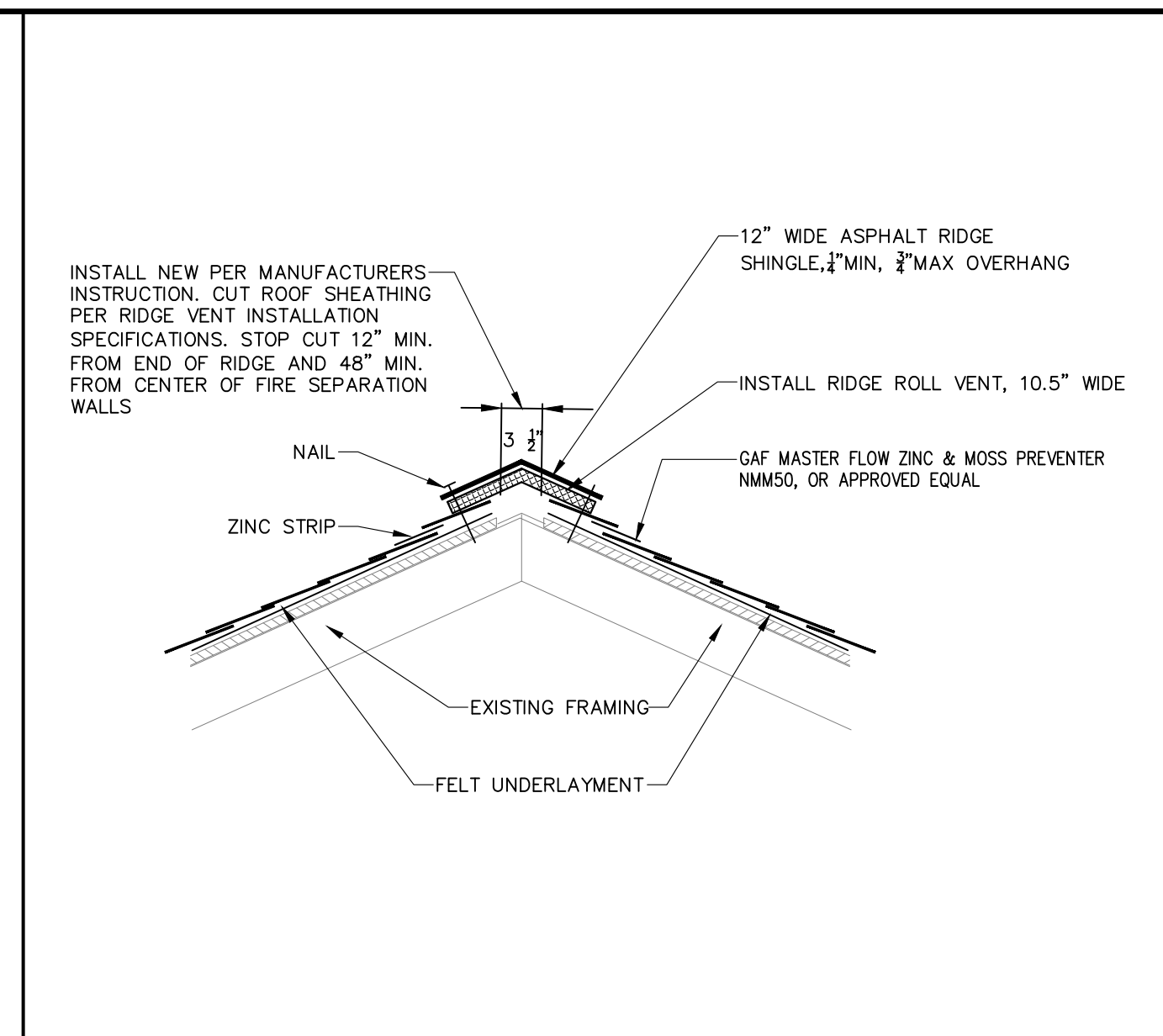
1 DETAIL



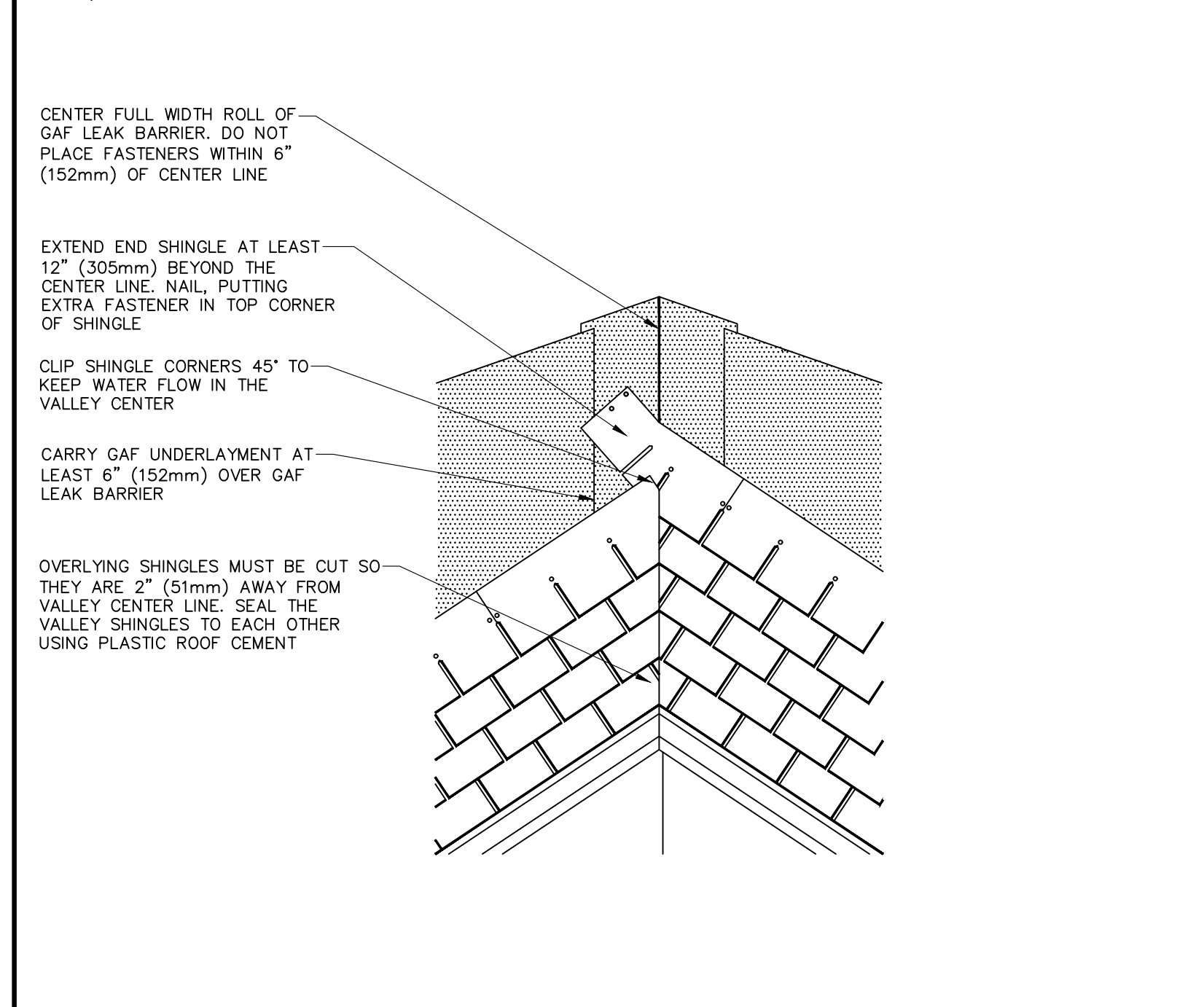
2 TYPICAL ROOF DETAIL



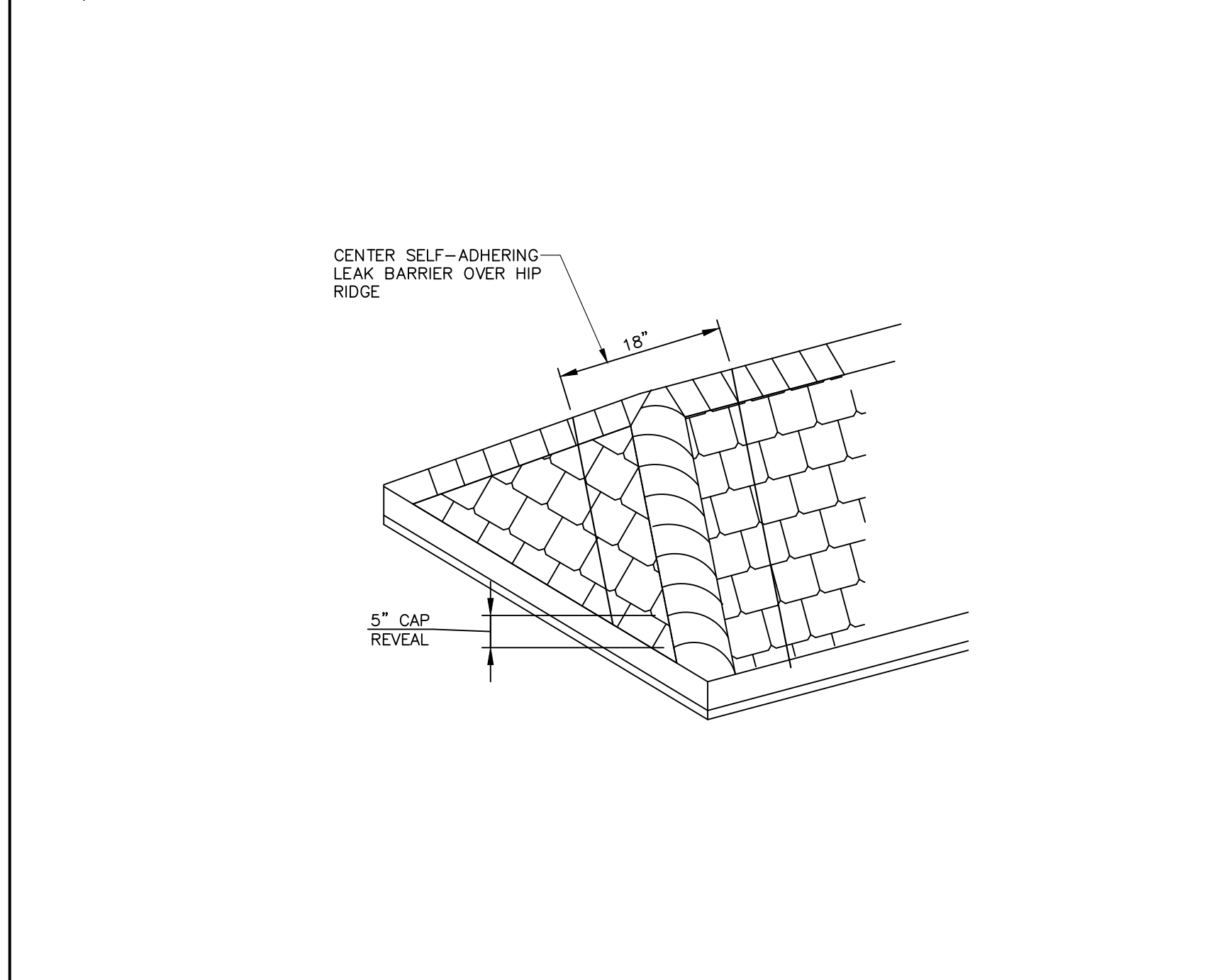
3 ROOF PENETRATION FLASHING DETAIL



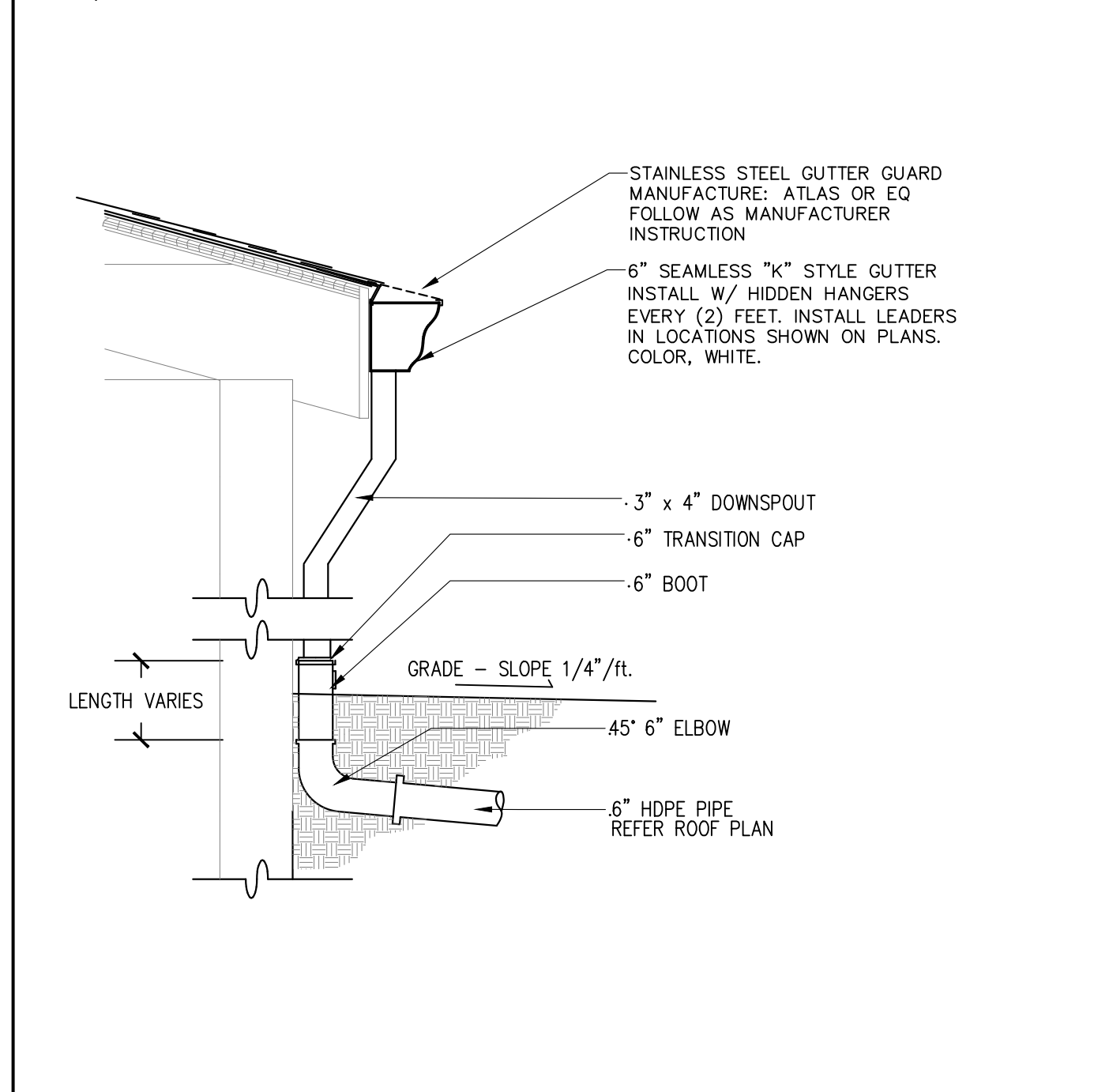
4 RIDGE DETAILS



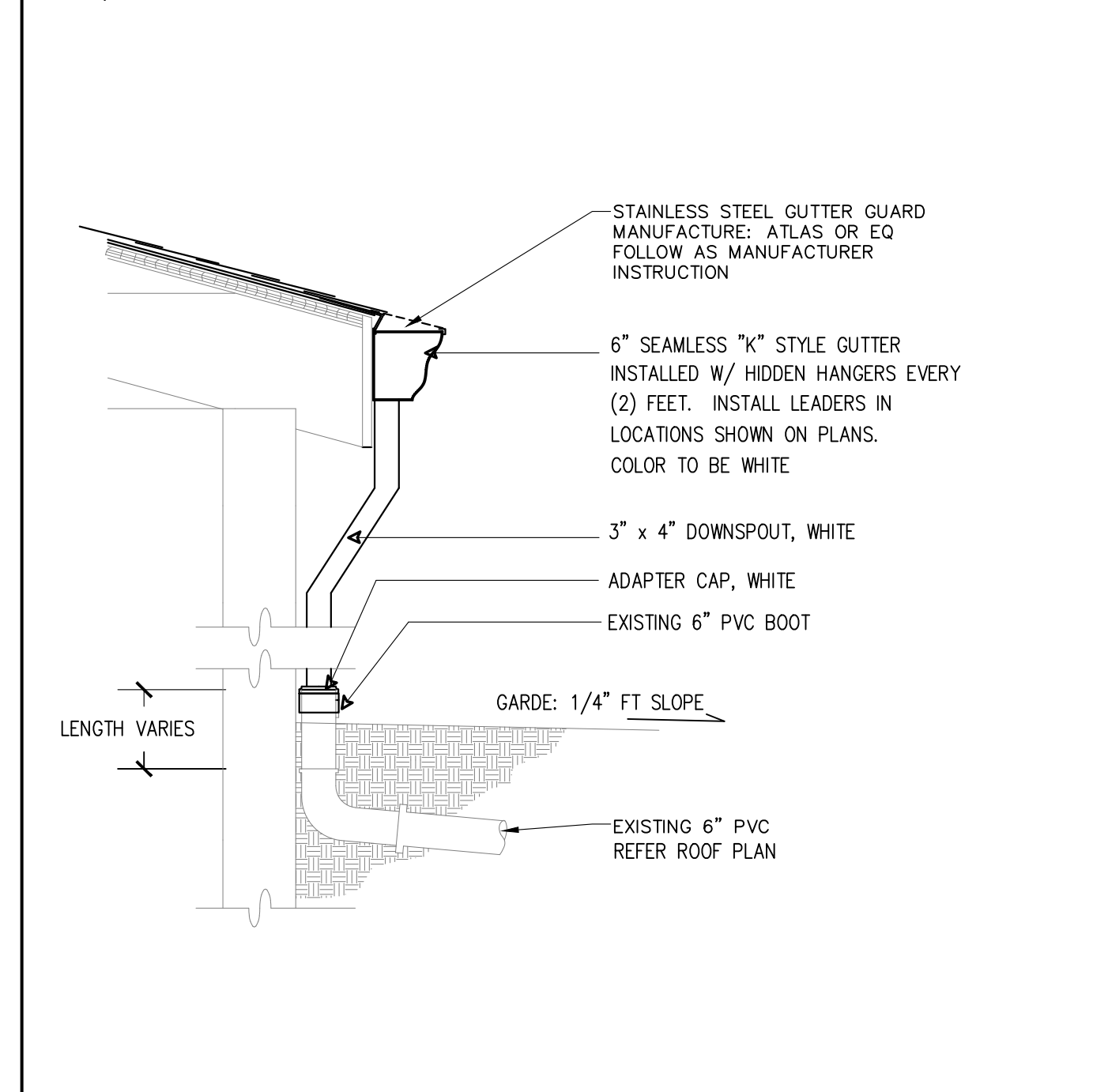
5 VALLEY FLASHING DETAIL



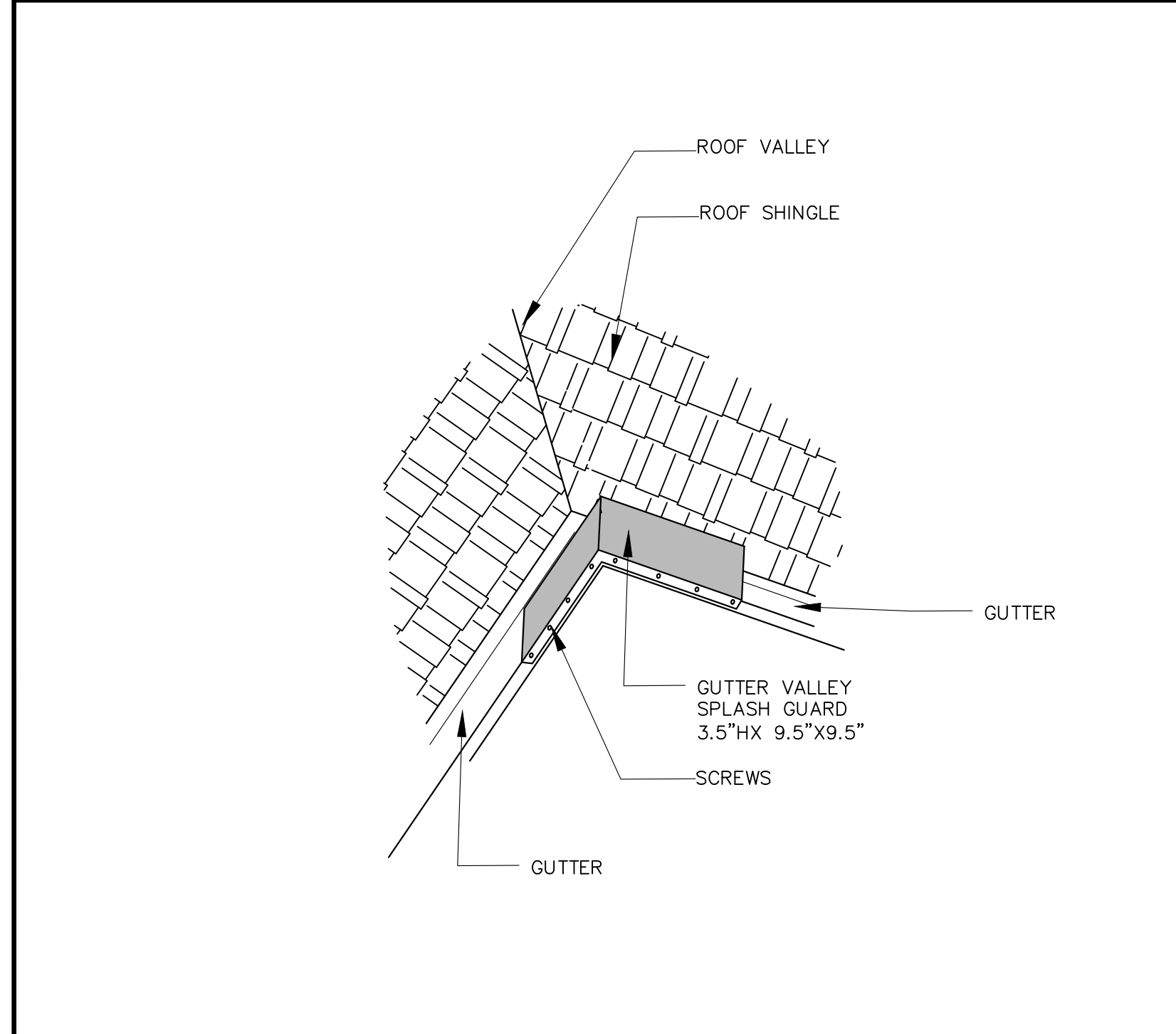
6 DETAIL AT HIP RIDGE



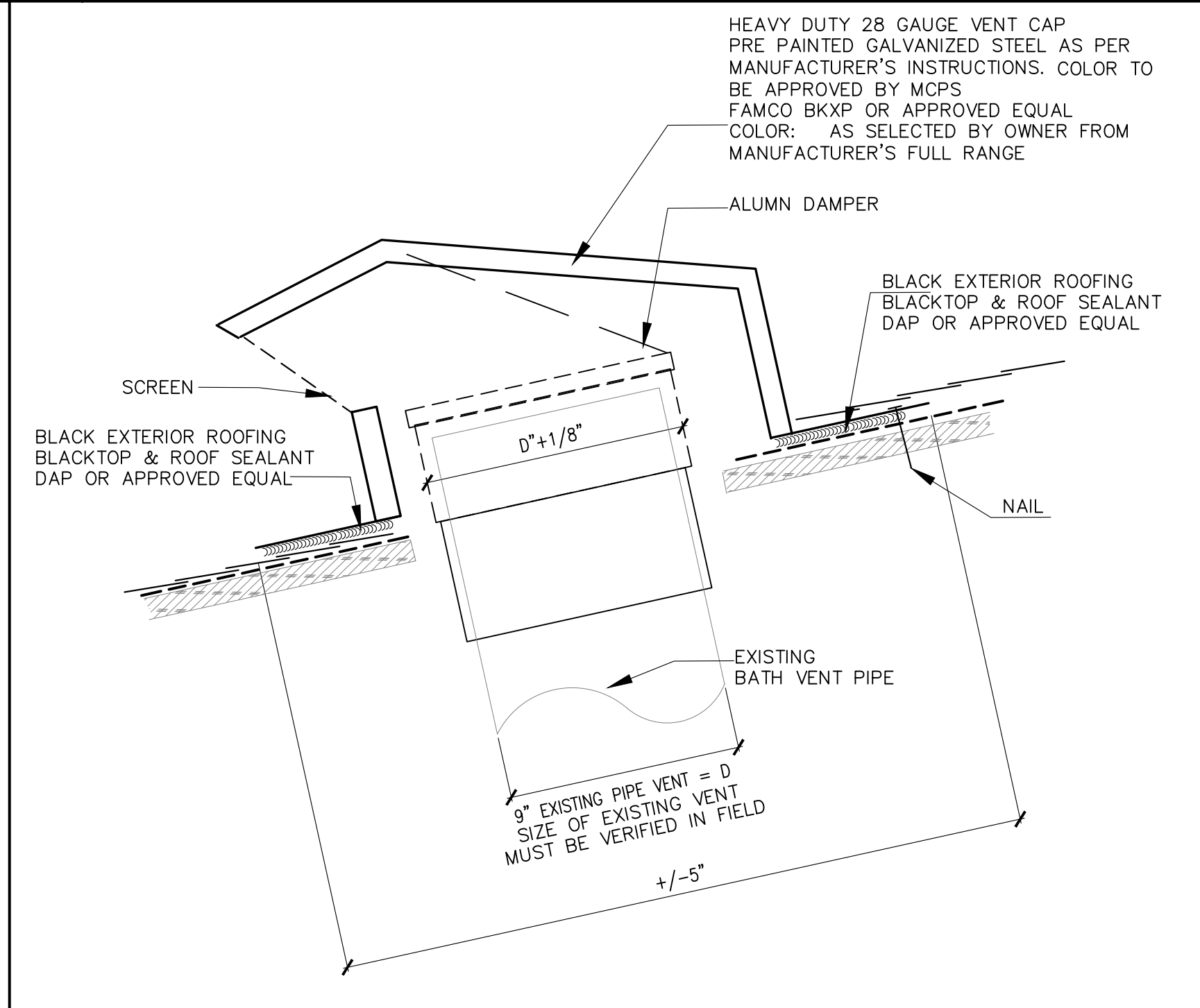
7 NEW DOWNSPOUT DETAIL W/ NEW DRAINAGE



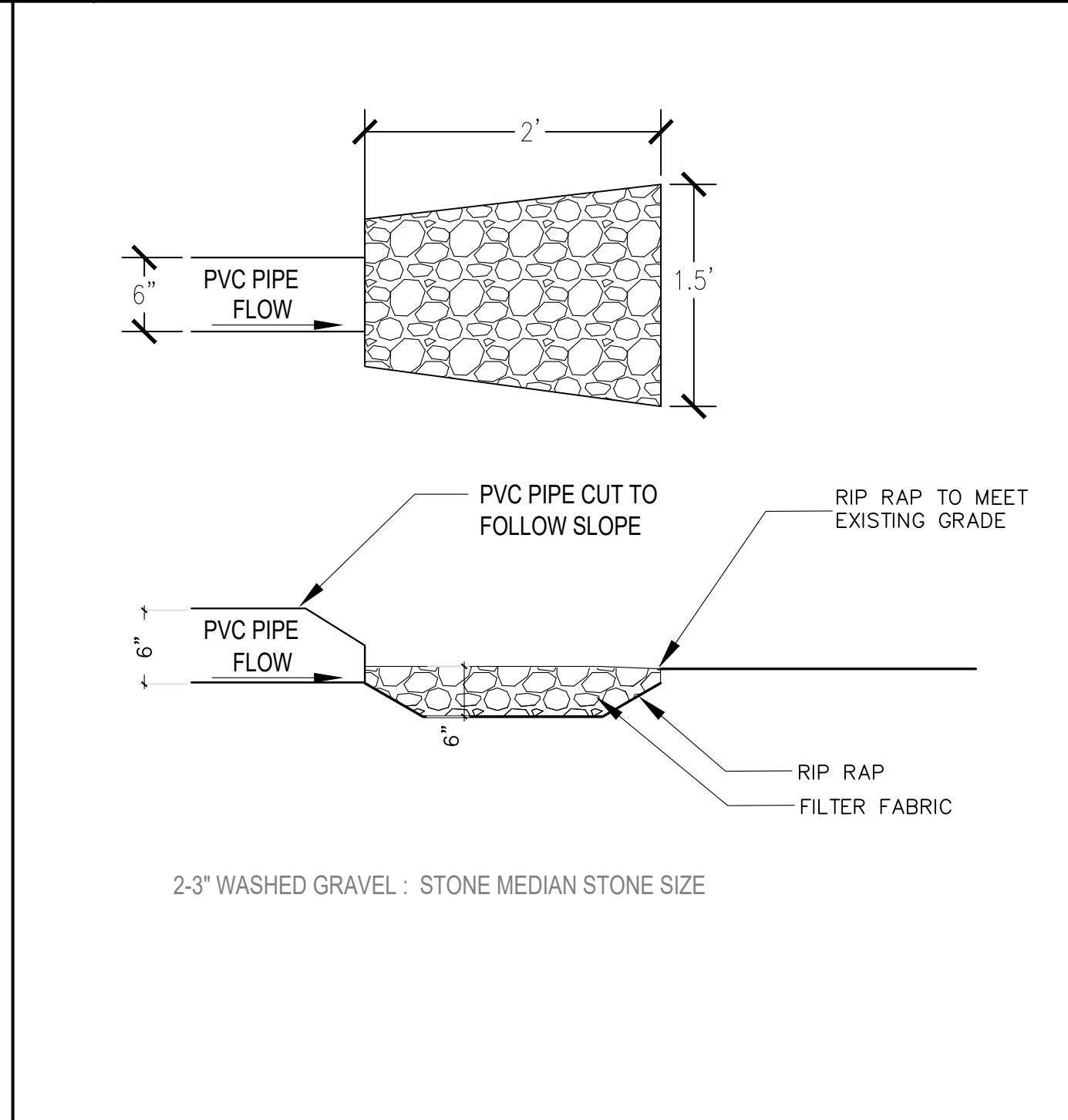
8 K STYLE GUTTER DETAIL & DOWNSPOUT



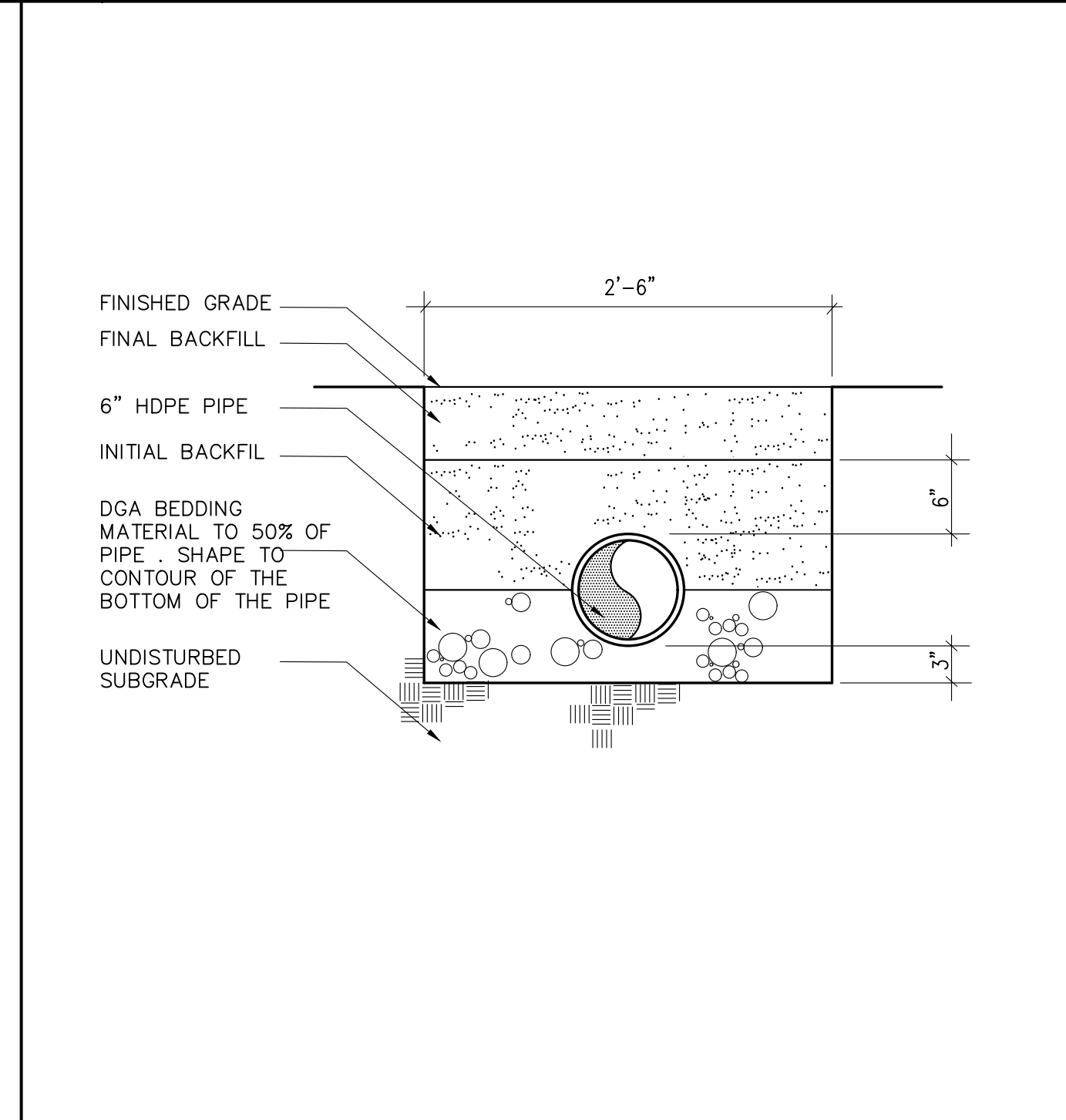
9 DETAIL AT GUTTER VALLEY SPLASH GUARD



10 BATH ROOF VENT CAP DETAIL



11 RIP RAP APRON DETAIL



12 PIPE INSTALLATION DETAIL



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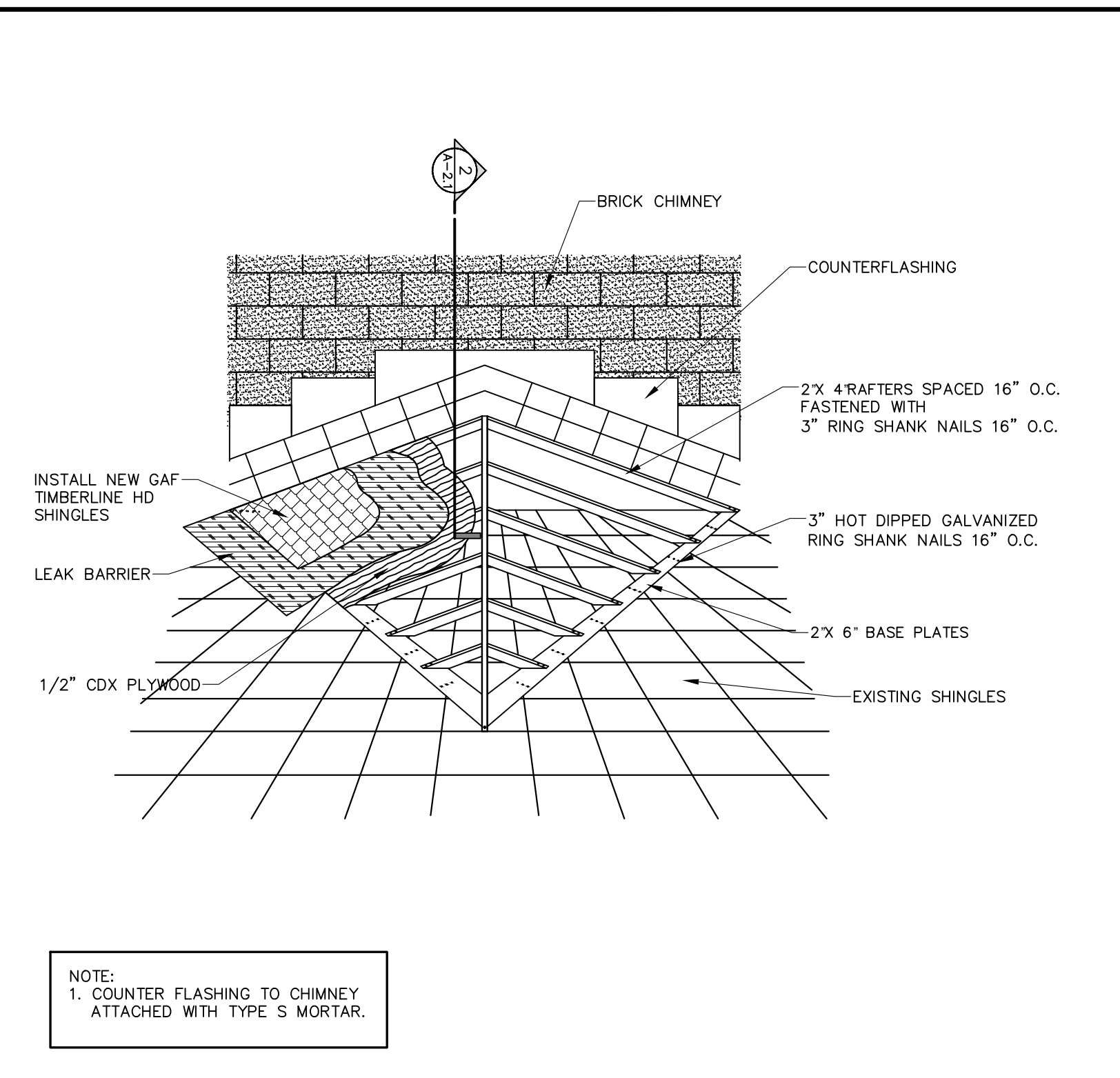
CHIMNEY DETAILS

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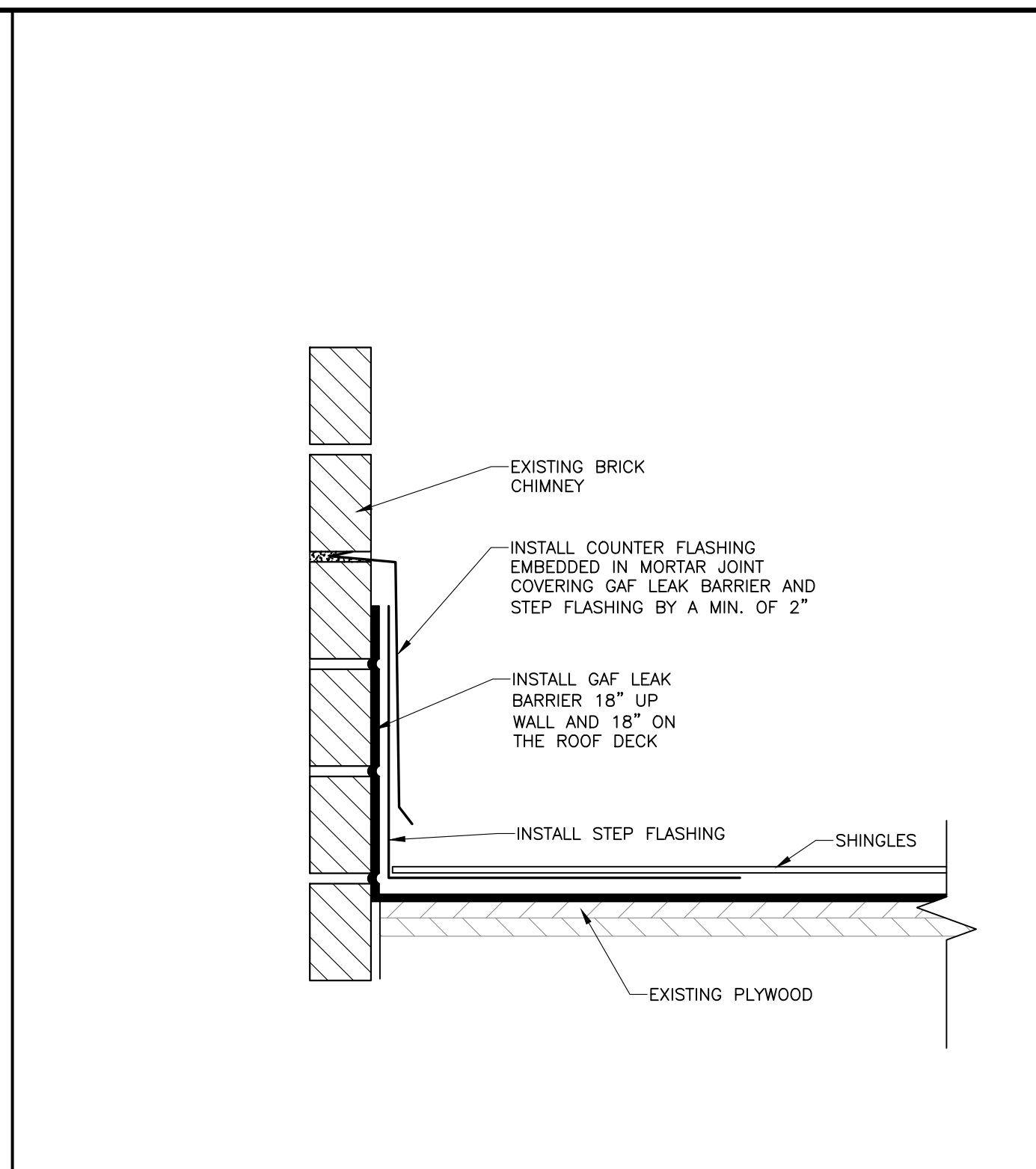
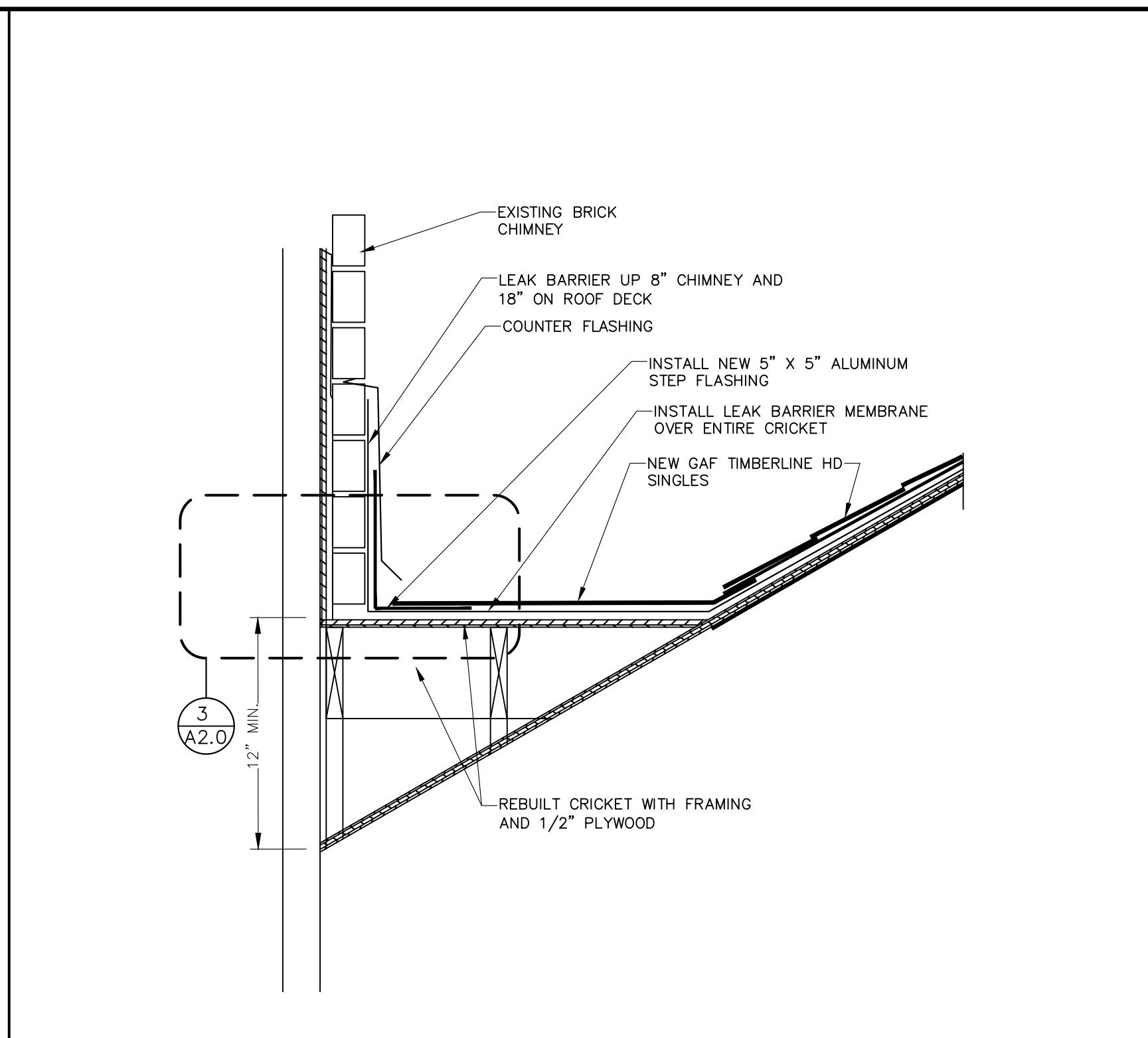
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NOTE:  
 REFER TO SECTION 041000 FOR MORE INFO.



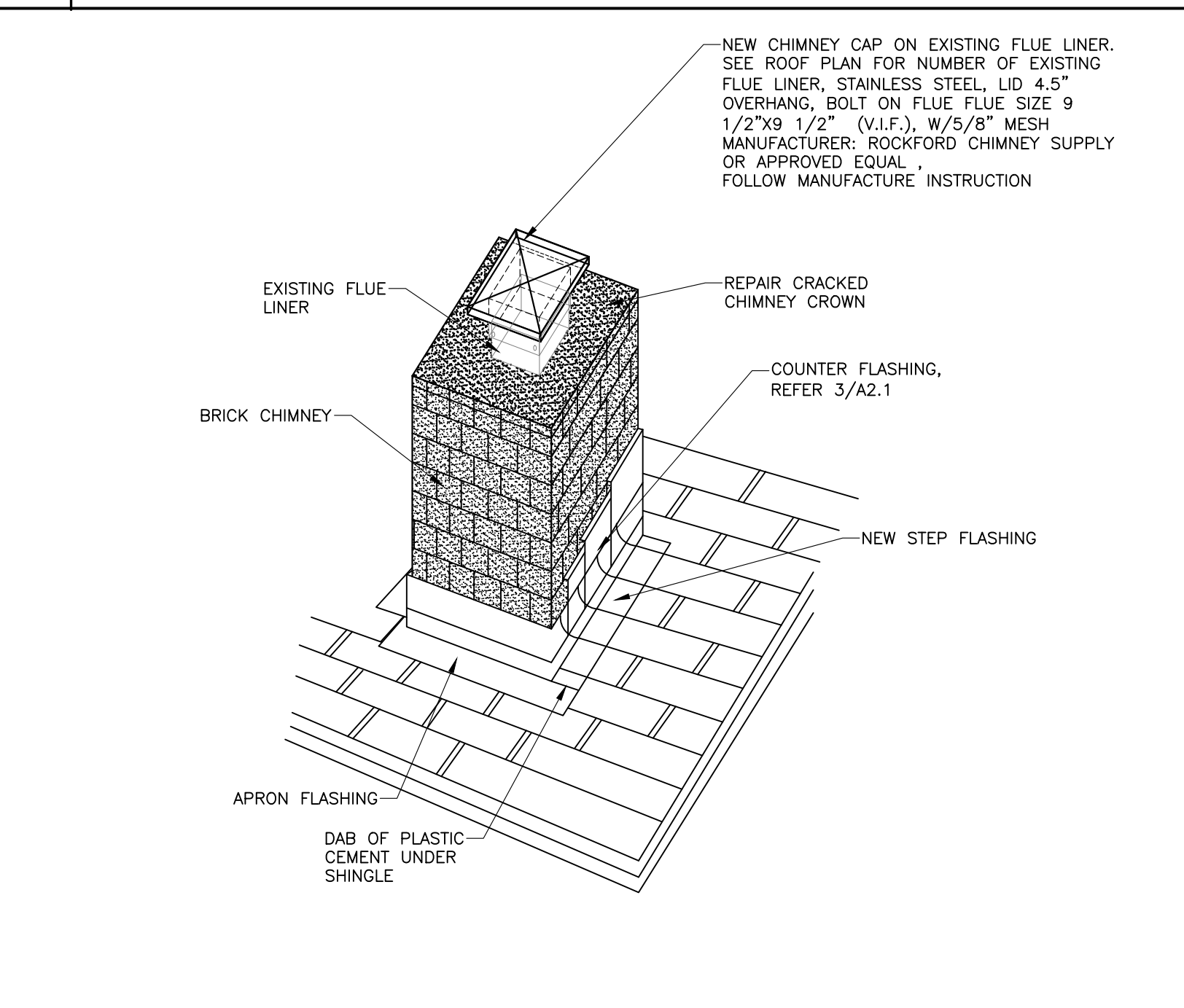
NOTE:  
 1. COUNTER FLASHING TO CHIMNEY ATTACHED WITH TYPE S MORTAR.



1 CHIMNEY CRICKET DETAIL

2 DETAIL AT CRICKET/CHIMNEY WALL

3 COUNTRY FLASHING DETAIL



4 DETAIL AT CHIMNEY

5

6