

# ROOF REPLACEMENT

## BLDG. #1302 & BLDG. #1312

### HOMINY HILL GOLF COURSE

#### COLTS NECK , NJ

92 MERCER ROAD, COLTS NECK, NJ 07722

## MONMOUTH COUNTY PARK SYSTEM



REV	DATE	BY

NOTE:  
UNLESS PRINTED FULL SIZE, THESE DRAWINGS WILL NOT BE TO SCALE.

THESE DRAWINGS, SPECIFICATIONS AND DESIGNS ARE THE PROPERTY OF THE MONMOUTH COUNTY PARK SYSTEM (MPCS). NO PART THEREOF SHALL BE COPIED OR USED WITH ANY OTHER WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN DEVELOPED WITHOUT THE WRITTEN CONSENT OF MPCS. MPCS WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

MONMOUTH COUNTY PARK SYSTEM  
 BOARD OF PARK AND RECREATION COMMISSIONERS  
 805 NEWMAN SPRINGS ROAD  
 LINDROFT, NEW JERSEY 07738-1965  
 PHONE (732) 842-4000 FAX (732) 842-3640



CONTACT INFORMATION	BUILDING CRITERIA	INDEX OF DRAWINGS	NOTE
PROJECT MANAGER: MARYAM TRONCO, MARYAM.TRONCO@CO.MONMOUTH.NJ.US TEL: 732-842-4000, EXT. 4272	THIS PROJECT IS DESIGNED IN ACCORDANCE WITH NJAC TITLE 5 CHAPTER 23 SUBCHAPTER 6 "UNIFORM CONSTRUCTION CODE REHABILITATION SUBCODE" CATEGORY OF WORK PURSUANT TO NJAC 5:23-6.3 CATEGORY OF WORK: RENOVATION USE GROUP: S CONSTRUCTION CLASSIFICATION: VB HEIGHT: NO CHANGE BUILDING AREA: NO CHANGE	CS-1.0 TITLE SHEET A-1.0 CART STORAGE PLAN, ELEVATIONS & DETAILS A-2.0 IRRIGATION PUMP HOUSE PLAN, ELEVATIONS & DETAILS	THERE ARE NO SUBSTITUTIONS ALLOWS FOR THE METAL ROOF SYSTEM AS SPECIFIED. THIS ROOF SYSTEM IS TO MATCH EXISTING ON-SITE ROOF SYSTEMS.
PARK SUPER ATTENDANCE: : MICHAEL E. JANOSKI MICHAEL.JANOSKI@CO.MONMOUTH.NJ.US TEL: 732.462.9224 EXT. 2	CODES AND STANDARDS: N.J.A.C. 5:23-6.1 REHABILITATION SUBCODE 2021 INTERNATIONAL BUILDING CODE, 2021, NEW JERSEY EDITION NATIONAL ELECTRICAL CODE (NEC) (NFPA70) 2020 ASHRAE 90,1 - 2019		

**GENERAL CONDITION**

A. THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF THE ARCHITECT TO USE AS HE/SHE SEES FIT. THESE DRAWINGS SHALL NOT BE USED WITHOUT THE ARCHITECTS CONSENT. DRAWINGS SHALL NOT BE USED FOR ISSUE OF BUILDING PERMITS UNLESS SIGNED AND SEALED BY THE ARCHITECT. DRAWINGS SHALL NOT BE PROTOTYPED WITHOUT AUTHORIZATION FROM THE ARCHITECT. UNLESS STATED SPECIFICALLY BY LETTER, THESE DRAWINGS MAY BE USED TO CONSTRUCT ONLY ONE OF THE STRUCTURE/BUILDING DELINEATED HEREIN.

B. THESE DRAWINGS REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN ARRANGEMENT AND METHOD OF ASSEMBLY OF THE VARIOUS COMPONENTS. THESE DRAWINGS DO NOT INDICATE EXTENSIVE DETAILS. THE CONTRACTOR SHALL HAVE REVIEWED THESE PLANS, SEEN THE SUBJECT PROPERTY AND BE CAPABLE OF EXECUTING THE DETAIL WORK NECESSARY TO ACHIEVE THE INTENDED RESULT IN A MANNER CONSISTENT WITH QUALITY WORKMANSHIP WITHIN THE REGION. IT IS INCUMBENT UPON THE CONTRACTOR TO REPORT IN WRITING TO THE ARCHITECT PRIOR TO SUBMISSION OF THE BID ANY QUESTIONABLE ERROR OR OMISSION IN INTENT OR METHOD OF CONSTRUCTION.

C. THE CONTRACTOR SHALL CONFORM TO THESE AND ANY OTHER APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS, REGULATIONS, ORDINANCES AND REQUIREMENTS. ALL CONSTRUCTION SHALL CONFORM TO ACCEPTED GOOD PRACTICE AS DEFINED BY THE LATEST EDITIONS OF "THE NATIONAL BUILDING CODE", B.O.C.A. BASIC BUILDING CODE, C.A.B.O. AND F.H.A. MINIMUM PROPERTY STANDARDS. ALL ARE READILY AVAILABLE TO THE TRADES.

D. CONSTRUCTION SHOWN SHALL CONFORM TO ALL APPLICABLE BUILDING CODES. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO CONSTRUCTION.

E. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY COST DUE TO ANY CONDITIONS UNCOVERED DURING CONSTRUCTION. THESE DRAWINGS ARE PREPARED BASED UPON INFORMATION PROVIDED BY THE OWNER INCLUDING DRAWINGS, SURVEYS, ETC.

F. MODIFICATIONS TO THESE PLANS BY THE CONTRACTOR SHALL NOT BE MADE WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT AND OWNER. A COPY OF SUCH CHANGES SHALL BE FILED WITH THE CONSTRUCTION OFFICIAL. ANY MODIFICATIONS MADE WITHOUT THE ARCHITECT'S WRITTEN CONSENT WILL BE THE SOLE RESPONSIBILITY OF THE PARTY ENACTING SUCH MODIFICATIONS.

G. THE CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT AND OWNER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

J. THE FOLLOWING, UNLESS PROVIDED FOR IN THESE DRAWINGS, SHALL BE FURNISHED BY THE OWNER:  
 1. DRAINAGE, UTILITIES AND BUILDING LOCATION.  
 2. SELECTION OF INTERIOR MATERIAL FINISHES, CABINETRY AND HARDWARE.  
 3. STANDARDS OF QUALITY AND ACCEPTABLE MANUFACTURERS FOR PREFABRICATED ITEMS.

K. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL OF THE PLANS, DIMENSIONS AND EXISTING SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL NOT SCALE THE DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE PLANS PRIOR TO ANY CONSTRUCTION.

L. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN AND LOCAL AUTHORITIES.

M. ALL CONTRACTORS TO PROVIDE ALL NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND TO STRICTLY ADHERE TO LOCAL, STATE AND O.S.H.A. SAFETY PRECAUTIONS.

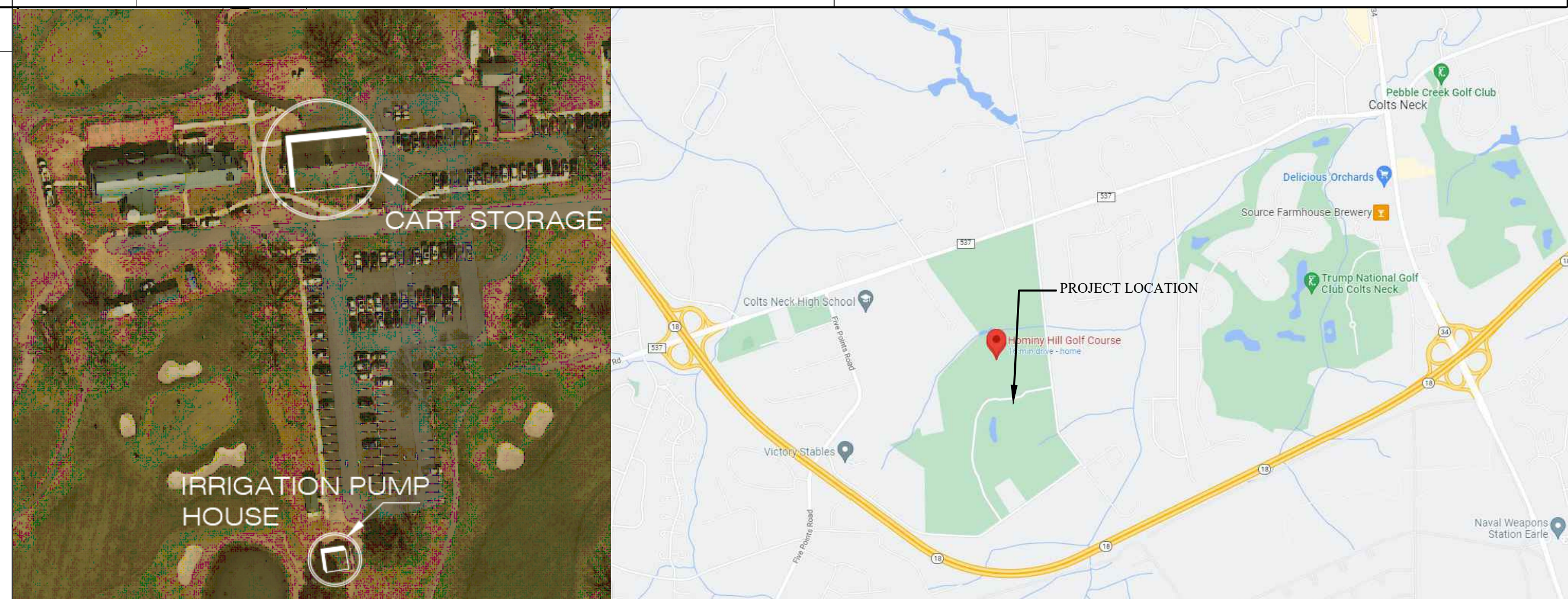
N. ALL CONTRACTORS SHALL MAINTAIN CONTRACTORS LIABILITY, PROPERTY DAMAGE INSURANCE AND WORKERS COMPENSATION INSURANCE TO FULLY PROTECT THE OWNER AND CONTRACTOR AGAINST ANY CLAIMS. THE CONTRACTOR SHALL FURNISH TO THE OWNER CERTIFICATES THAT THESE POLICIES ARE IN EFFECT.

O. THE CONTRACTORS SHALL TAKE NECESSARY STEPS TO PROTECT THE WORK AND ALL MATERIALS AND SUPPLIES ON THE CONSTRUCTION SITE AGAINST LOSS OR DAMAGE FROM FIRE, VANDALISM AND MALICIOUS MISCHIEF AT ALL TIMES.

P. ALL CONTRACTORS AND SUB-CONTRACTORS MUST COMPLY WITH ALL SPECIFICATIONS, NOTES AND DRAWINGS. IN MOST INSTANCES, IF THE SPECIFICATIONS DIFFER FROM THE DRAWINGS, THE DRAWINGS SHALL SUPERCEDE. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.

Q. ALL CONTRACTORS AND SUB-CONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE JOB SITE.

R. ALL MATERIALS AND EQUIPMENT SHALL BE APPROVED FOR USE AS REQUIRED BY GOVERNING MUNICIPAL, STATE AND FEDERAL AGENCIES AND SHALL BEAR ALL REQUIRED CONDITIONS.

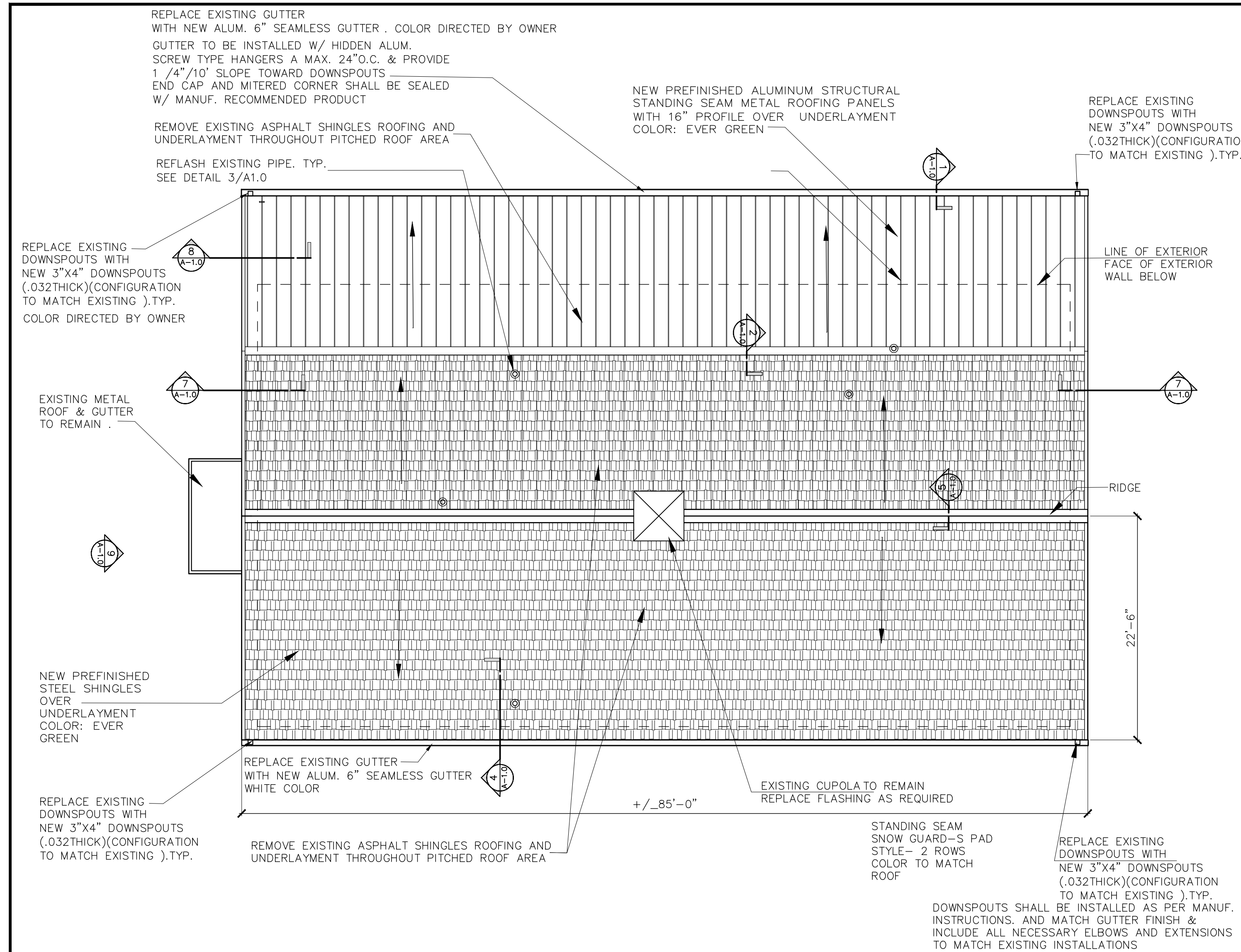


CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD
			WEATHERING	FROST LINE DEPT	TERMITE	DECAY			
20 PSF	120 MPH	C	SEVERE	36"	HEAVY	MODERATE	14	YES	N/A

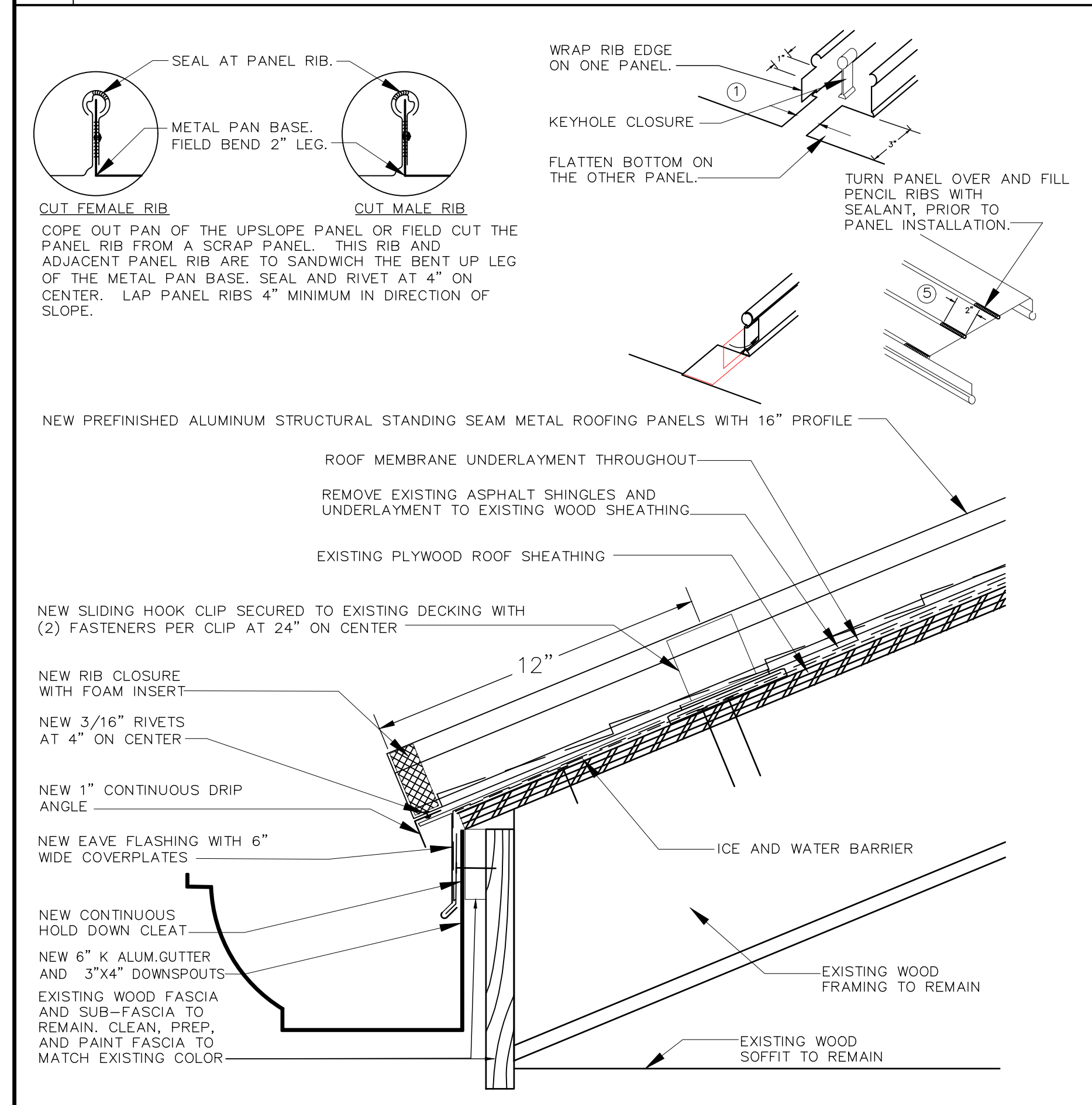
ROOF REPLACEMENT OF BLDG. #1302 & BLDG #1312,  
 HOMINY HILL GOLF COURSE, COLTS NECK, NJ  
 TITLE: COVER SHEET  
 DATE 2022 SCALE AS NOTED PROJECT # 223019 DRAWN MT CHECKED MT

SHEET NO. **CS-1.0**  
 1 OF 3

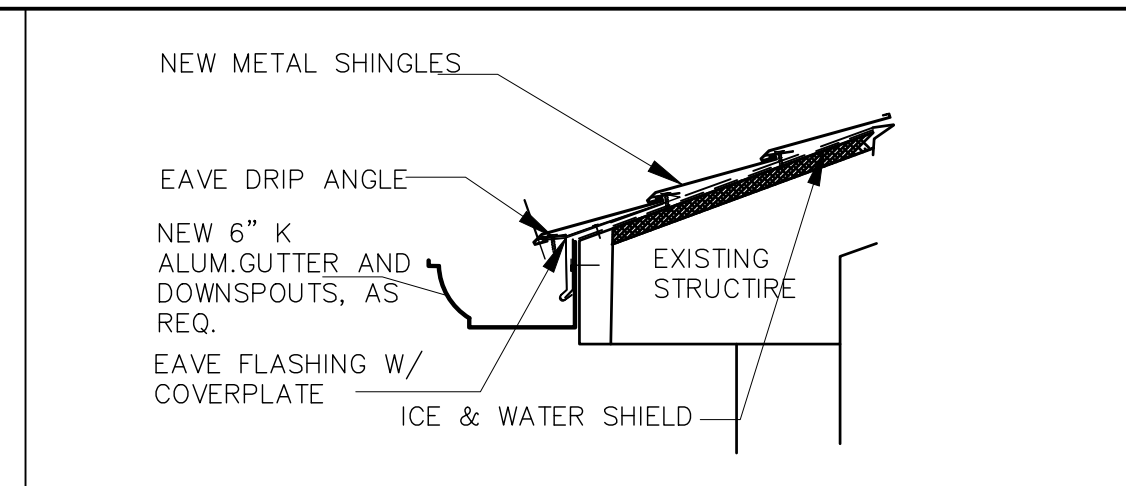




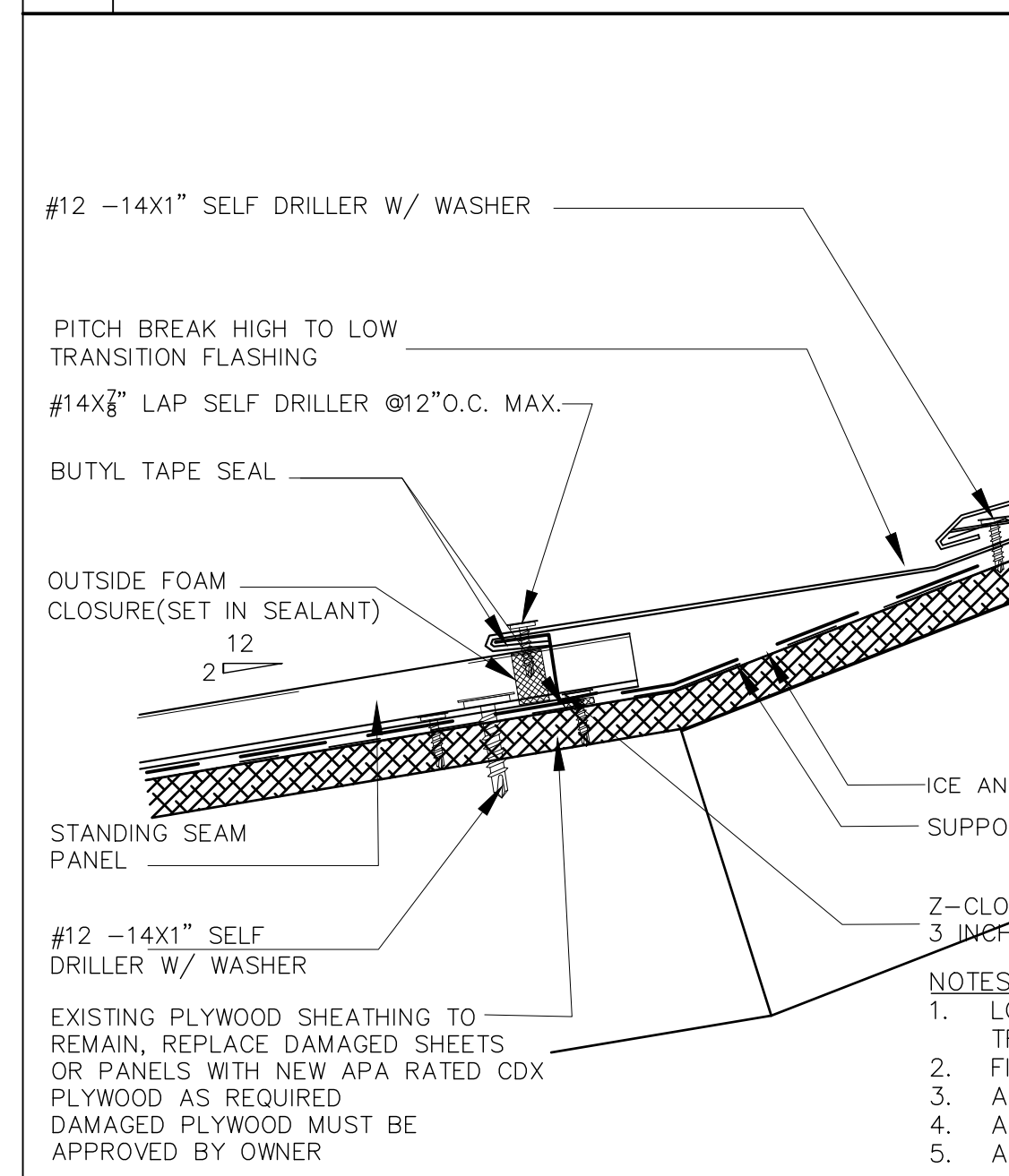
6 CART STORAGE ROOF PLAN - BLDG. #1302 1/8" = 1'-0"



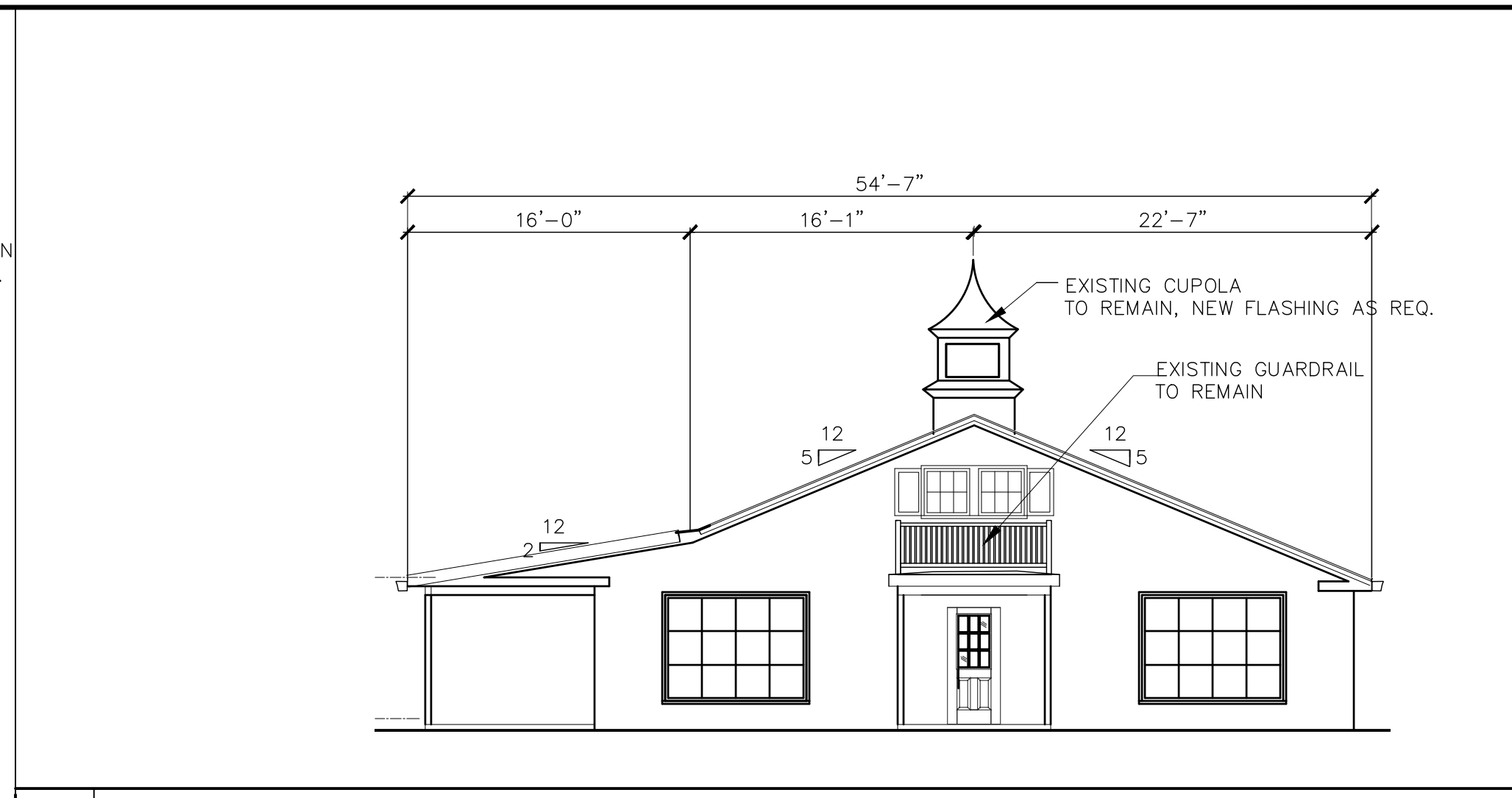
1 STANDING SEAM EAVE DETAIL N.T.S.



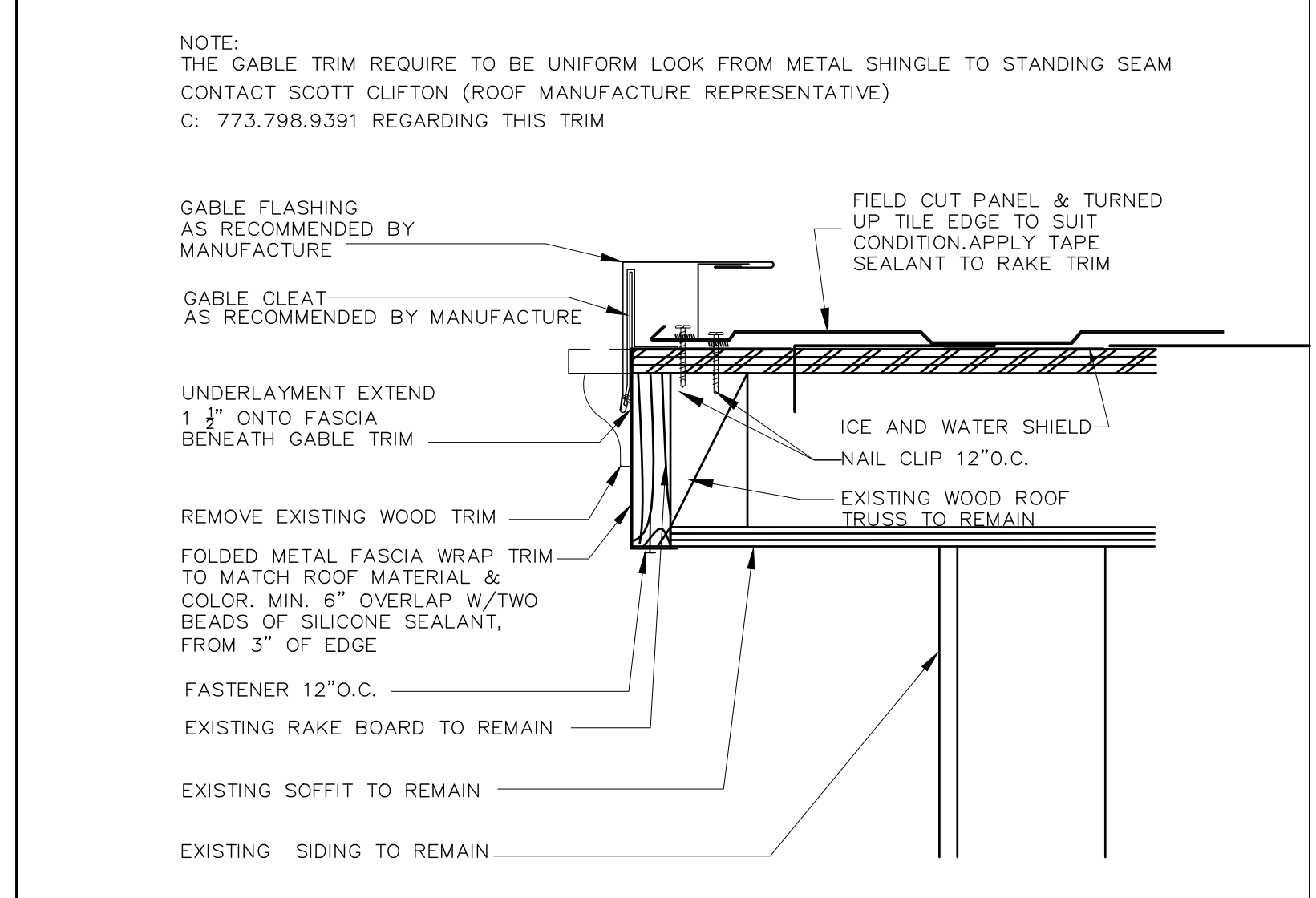
4 METAL SHINGLES EAVE DETAIL N.T.S.



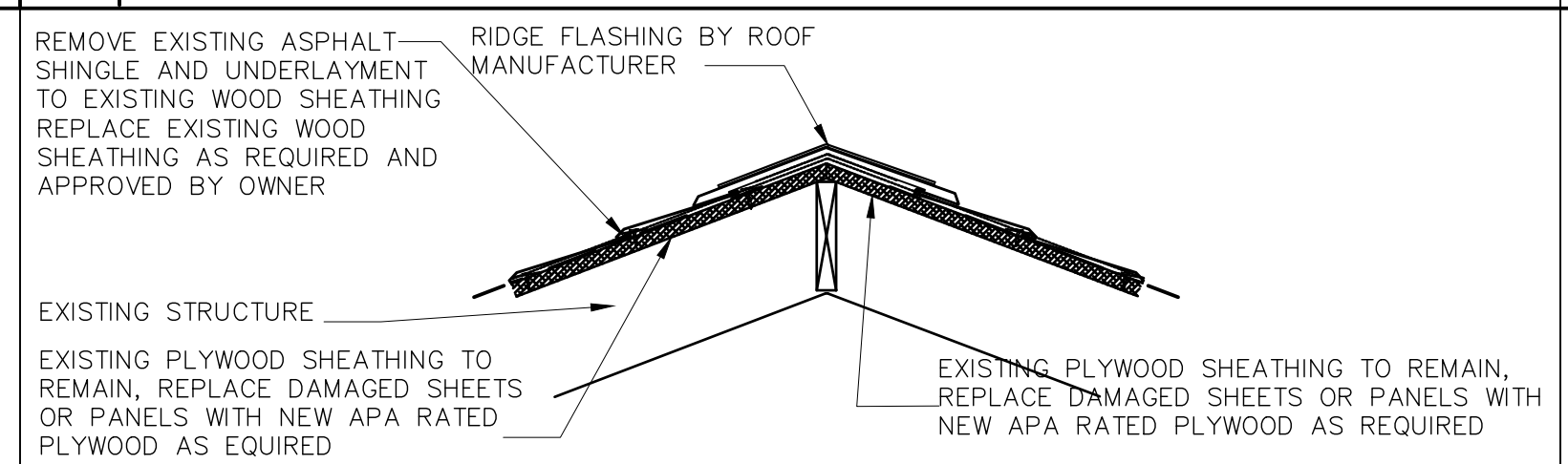
2 PITCH BREAK HIGH TO LOW DETAIL N.T.S.



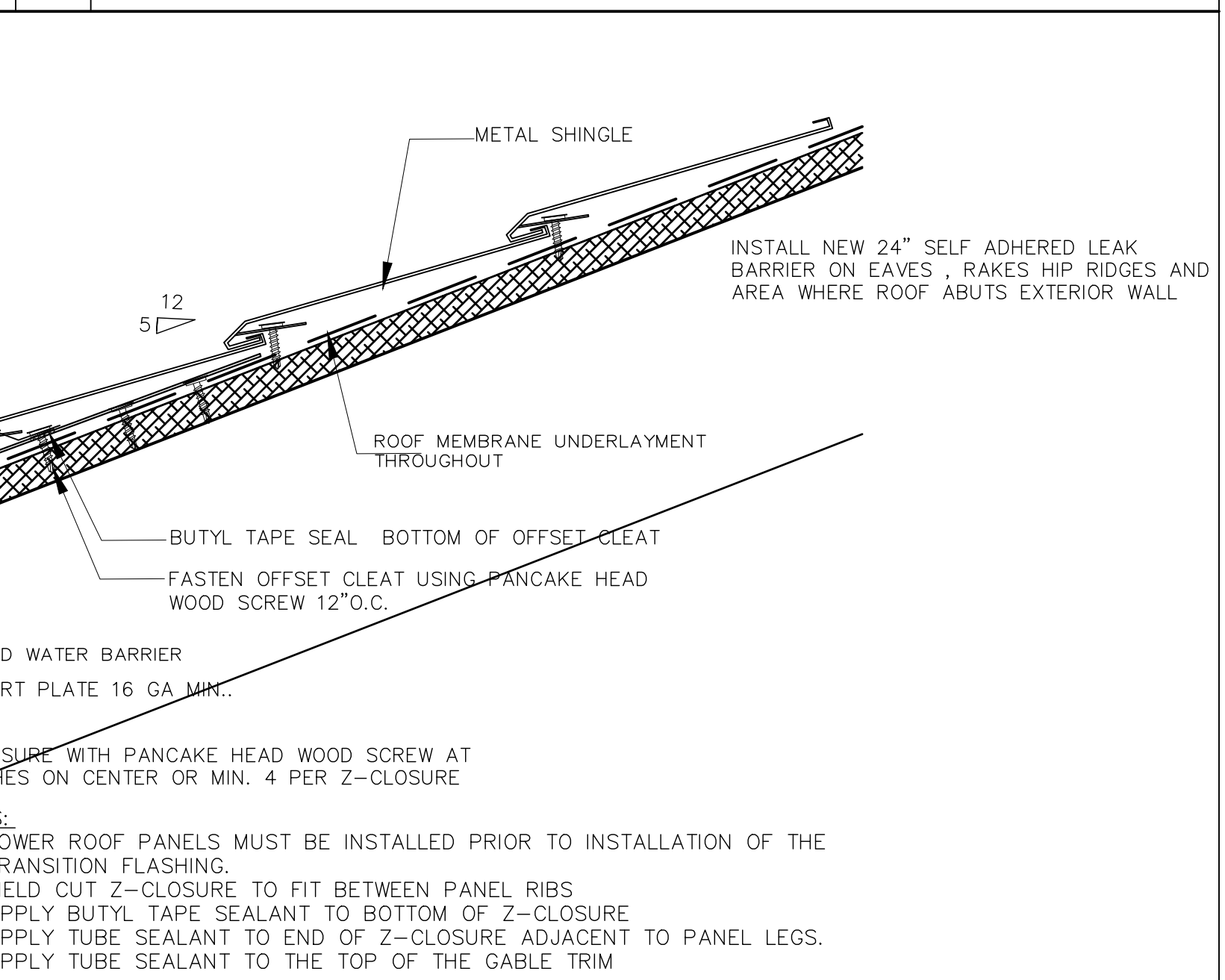
9 SIDE ELEVATION - BLDG. #1302 1/8" = 1'-0"



7 RAKE DETAIL @ METAL SHINGLES N.T.S.



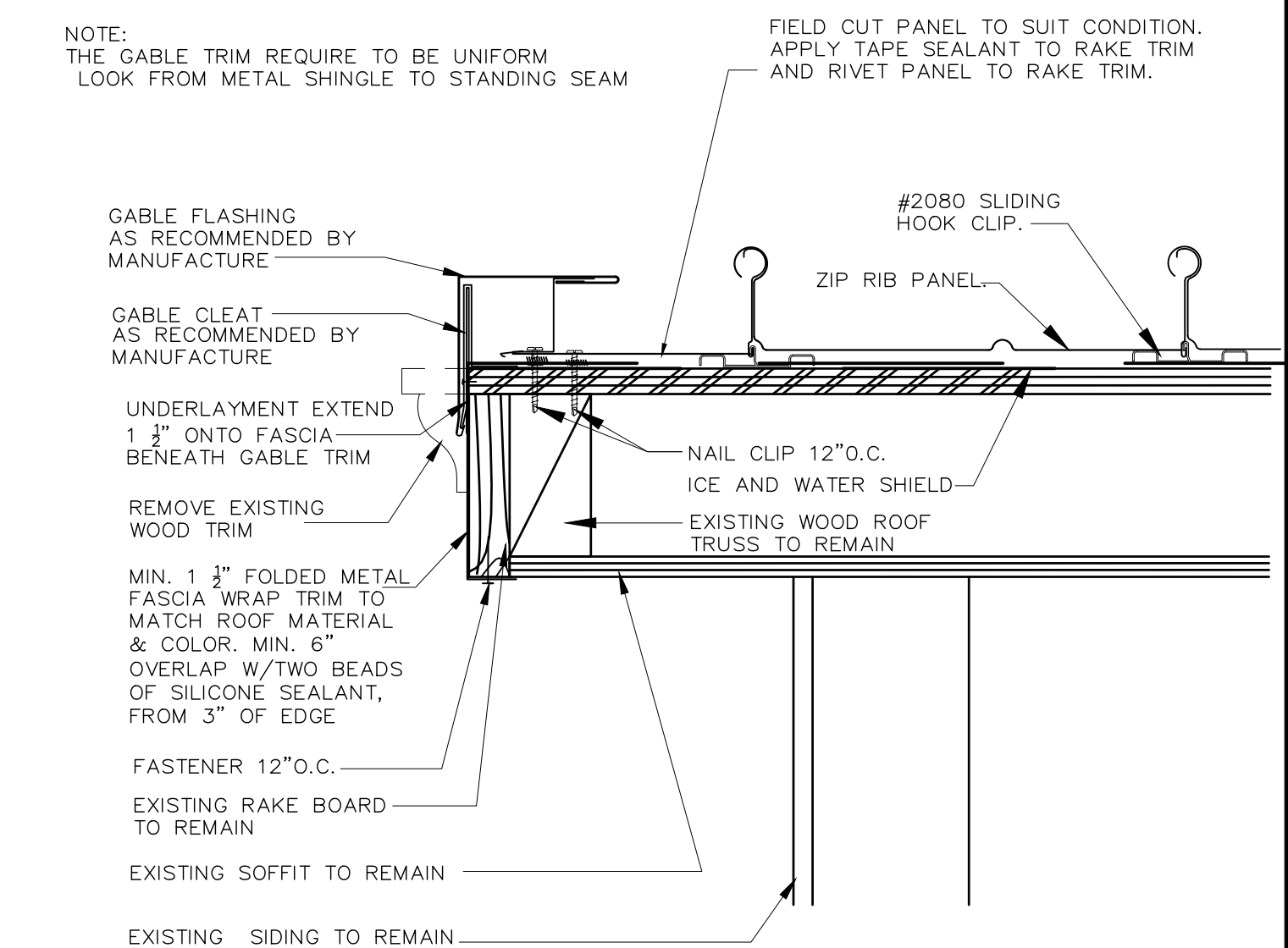
5 ROOF RIDGE DETAIL N.T.S.



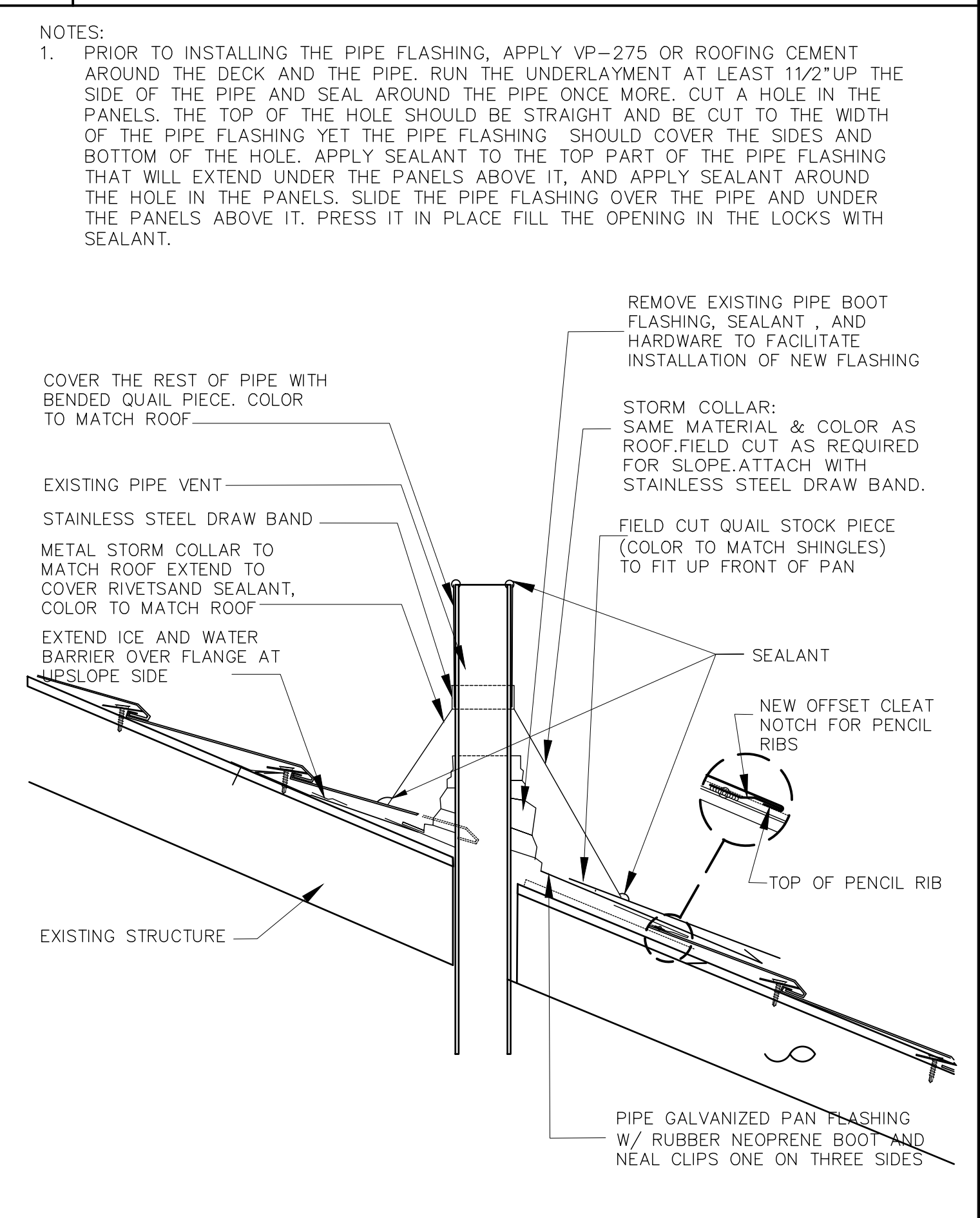
3 PIPE VENT PENETRATION DETAIL N.T.S.

**GENERAL NOTES**

- 1.) DETAIL REFERENCES ARE TYPICAL FOR SIMILAR CONDITIONS.
- 2.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGED GROUNDS AND SHALL RESTORE LANDSCAPING, PAVEMENTS, AND ALL OTHER WALKING SURFACES TO PRE-CONSTRUCTION CONDITION.
- 3.) REFER TO ELEVATIONS FOR APPROXIMATE EXISTING ROOF PITCHES NOT SHOWN ON ROOF PLANS.
- 4.) ANY AND ALL CONDUITS, PIPING, CABLE, ETC. IN CONFLICT WITH WORK TO BE PERFORMED SHALL BE LOOSENED AND RESECURED OR REMOVED AND RESET AS REQUIRED TO FACILITATE THE CONSTRUCTION.
- 5.) CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO REMOVAL OF SHINGLE ROOFING TO ARRANGE INSPECTION TO DETERMINE QUANTITIES DAMAGED ROOF SHEATHING REQUIRING REPLACEMENT.
- 6.) BUILDING SHALL REMAIN DRY THROUGHOUT ROOF REPLACEMENT. ONLY REMOVE AS MUCH ROOFING AS CAN BE REPLACED WITHIN A CLEAR WEATHER PERIOD.
- 7.) CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ALL ITEMS DAMAGED BY CONSTRUCTION ACTIVITIES TO THE SATISFACTION AND ACCEPTANCE OF THE ARCHITECT, AND THE MONMOUTH COUNTY PARKS SYSTEM.
- 8.) ALL DIMENSIONS SHOWN ON THIS DRAWING ARE TO BE CONSIDERED APPROXIMATE BASED ON MEASUREMENTS TAKEN IN THE FIELD.
- 9.) REPLACE ALL EXISTING FLASHINGS AS DETAILED.
- 10.) CONTRACTOR TO REMOVE AND SALVAGE ALL EXISTING SIGNAGE ON EXISTING FASCIA PRIOR TO PAINTING. INSTALL EXISTING SIGNAGE WHERE PREVIOUSLY LOCATED AFTER COMPLETION OF PAINTING.
- 11.) ALL NEW METAL CLEATS ARE TO BE CONTINUOUS.
- 12.) PROVIDE A 5 YEAR WORKMANSHIP WARRANTY ON ALL WORK PROVIDED
- 13.) PROVIDE A 5 YEAR WORKMANSHIP WARRANTY ON ALL WORK PROVIDED



8 RAKE DETAIL @ STANDING SEAM N.T.S.



10 PIPE VENT PENETRATION DETAIL N.T.S.

REV	DATE	BY

NOTE: UNLESS PRINTED FULL SIZE, THESE DRAWINGS WILL NOT BE TO SCALE.

THESE DRAWINGS, SPECIFICATIONS AND DESIGNS ARE THE PROPERTY OF THE MONMOUTH COUNTY PARK SYSTEM (MPCS). NO PART THEREOF SHALL BE COPIED OR USED WITH ANY OTHER WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN DEVELOPED. WITHOUT THE WRITTEN CONSENT OF MPCS, MPCS WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY COME, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

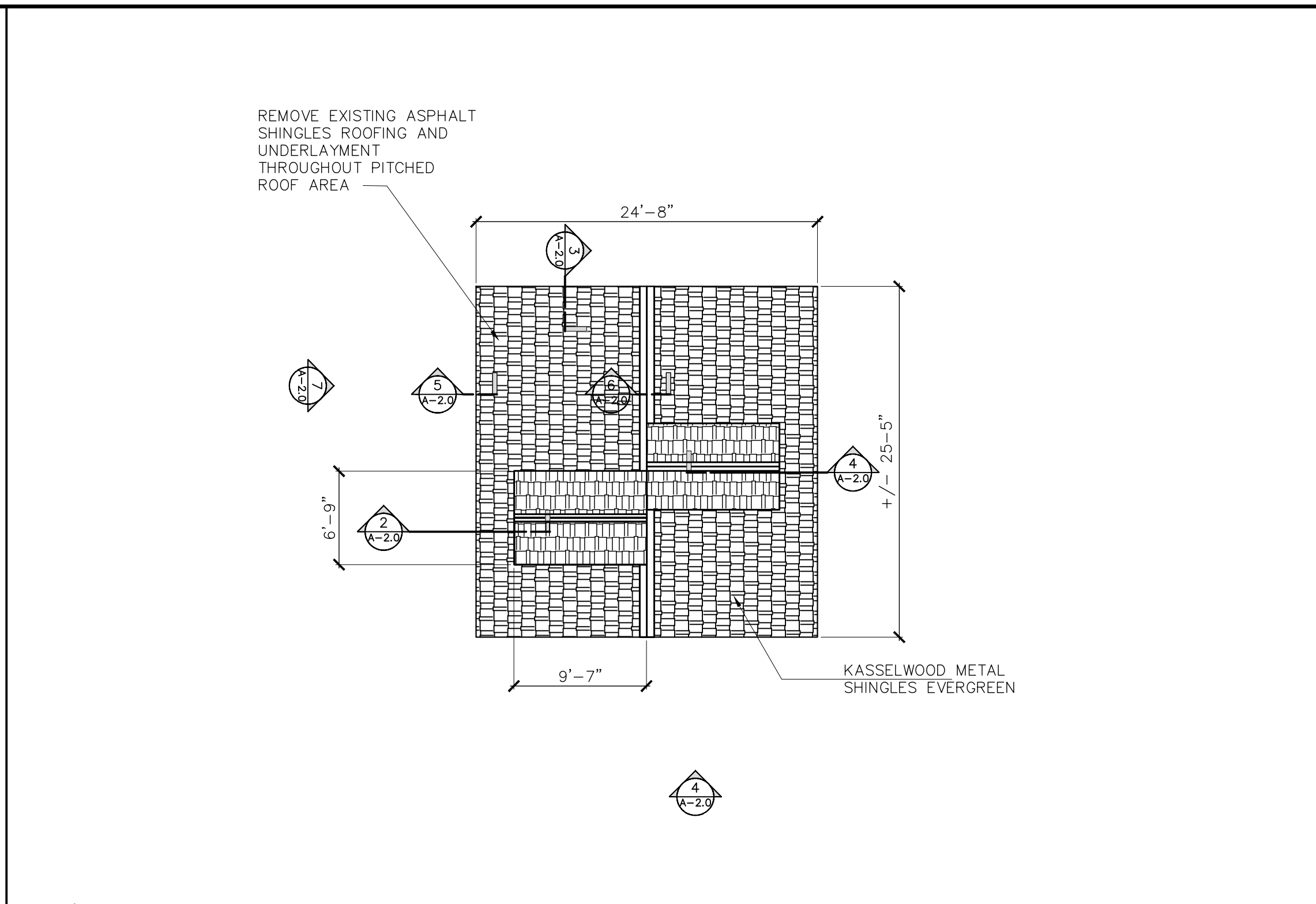
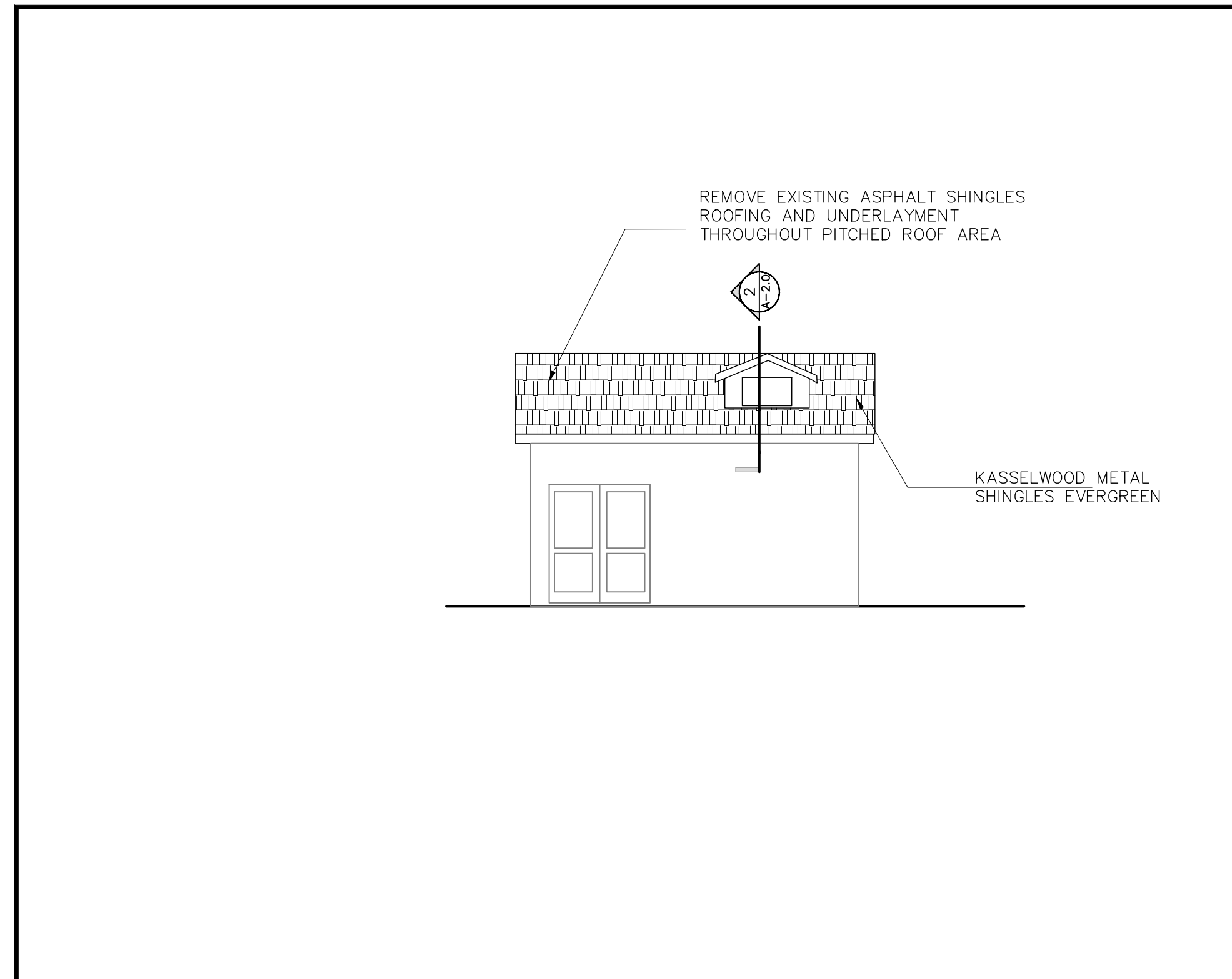
MONMOUTH COUNTY PARK SYSTEM  
 BOARD OF PARK AND RECREATION COMMISSIONERS  
 805 NEWMAN SPRINGS ROAD  
 LINDGROFT, NEW JERSEY 07738-1985  
 PHONE (732) 842-4000 FAX (732) 842-3640

ROOF REPLACEMENT OF BLDG. #1302 & BLDG #1312,  
 HOMINY HILL GOLF COURSE, COLTS NECK, NJ  
 TITLE: CART STORAGE PLAN, ELEVATIONS & DETAILS

DATE: 2022 SCALE: AS NOTED PROJECT #: 223019 DRAWN: MT CHECKED: MT

SHEET NO. A-1.0  
 2 OF 3





**GENERAL NOTES**

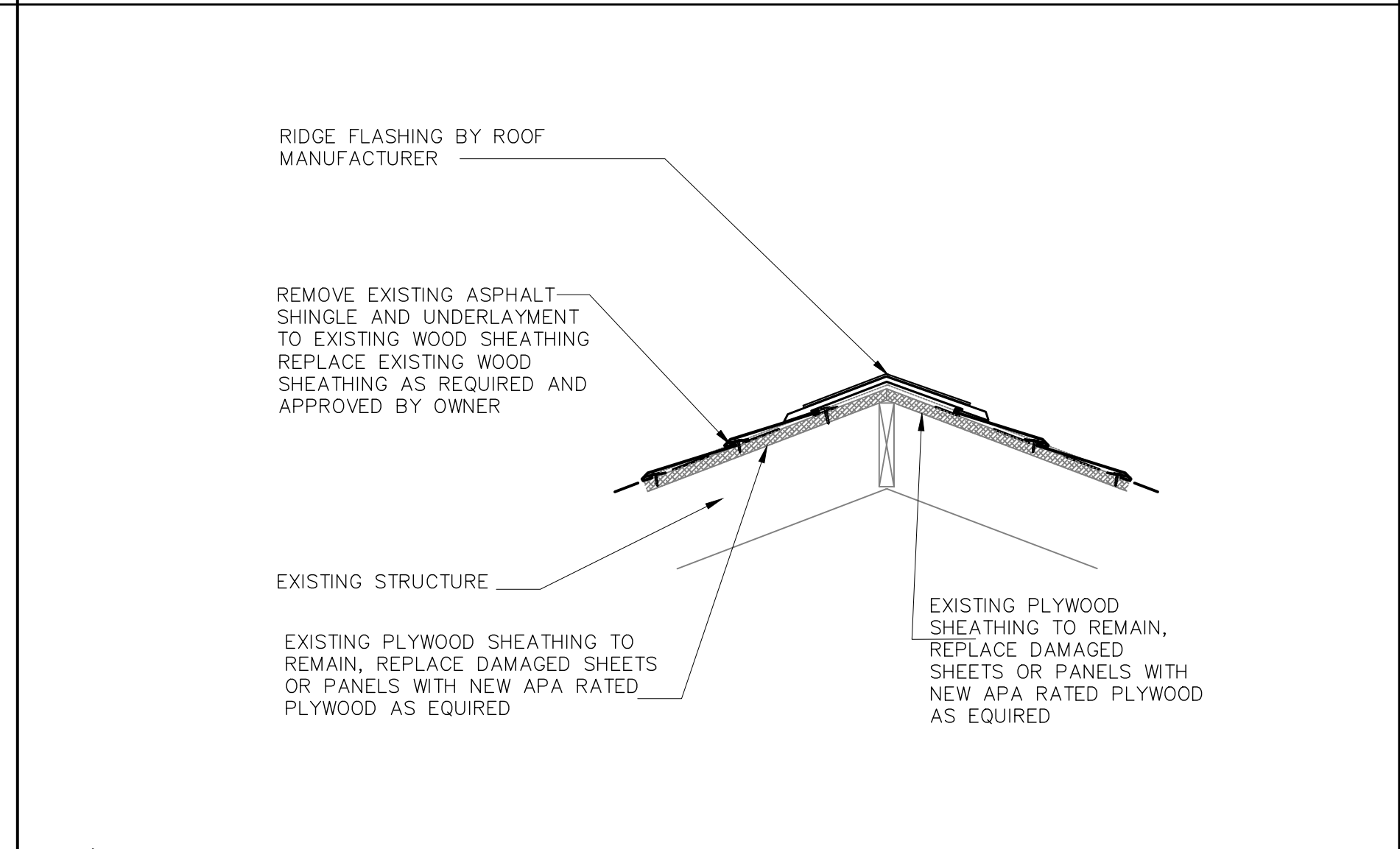
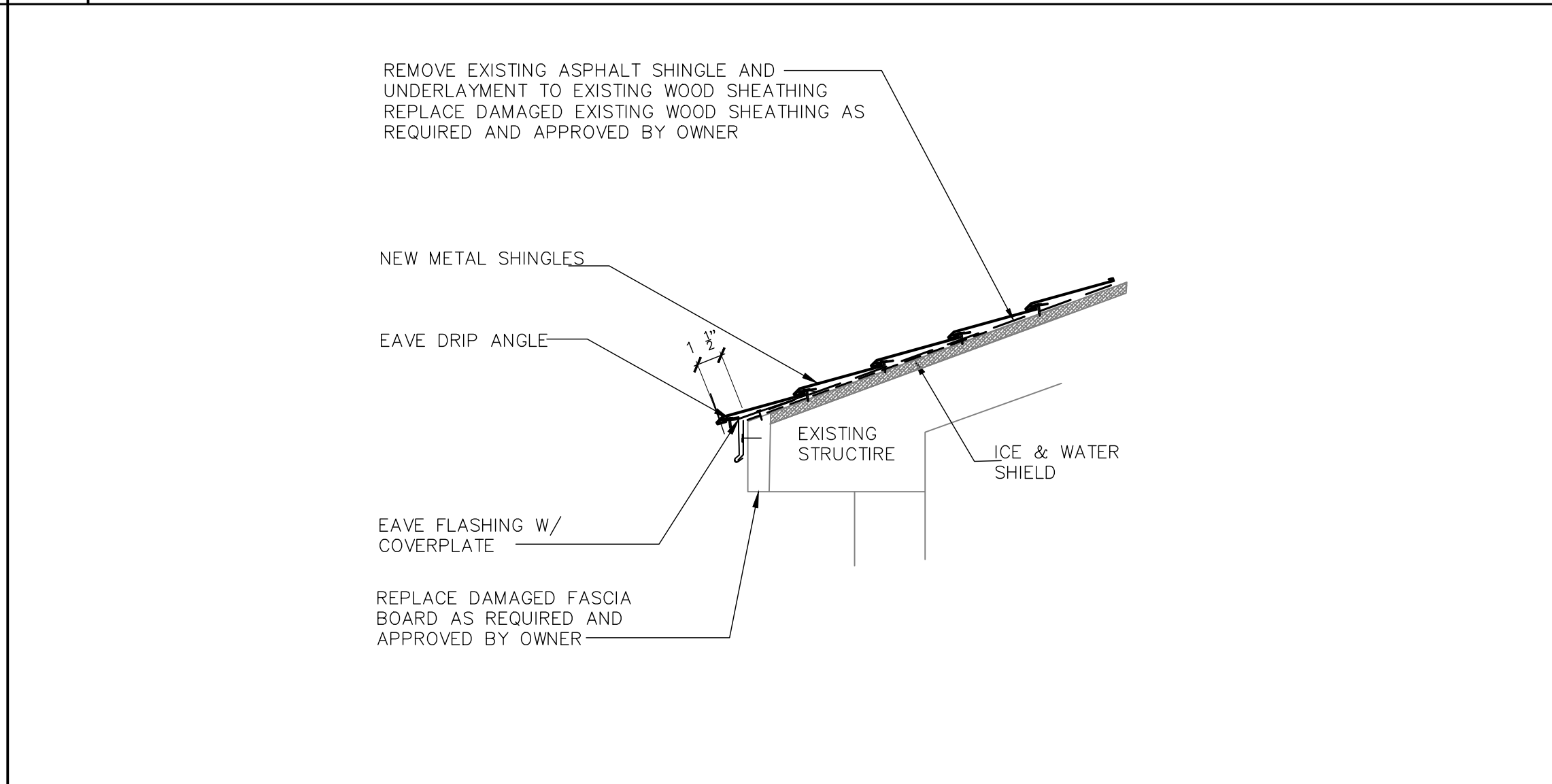
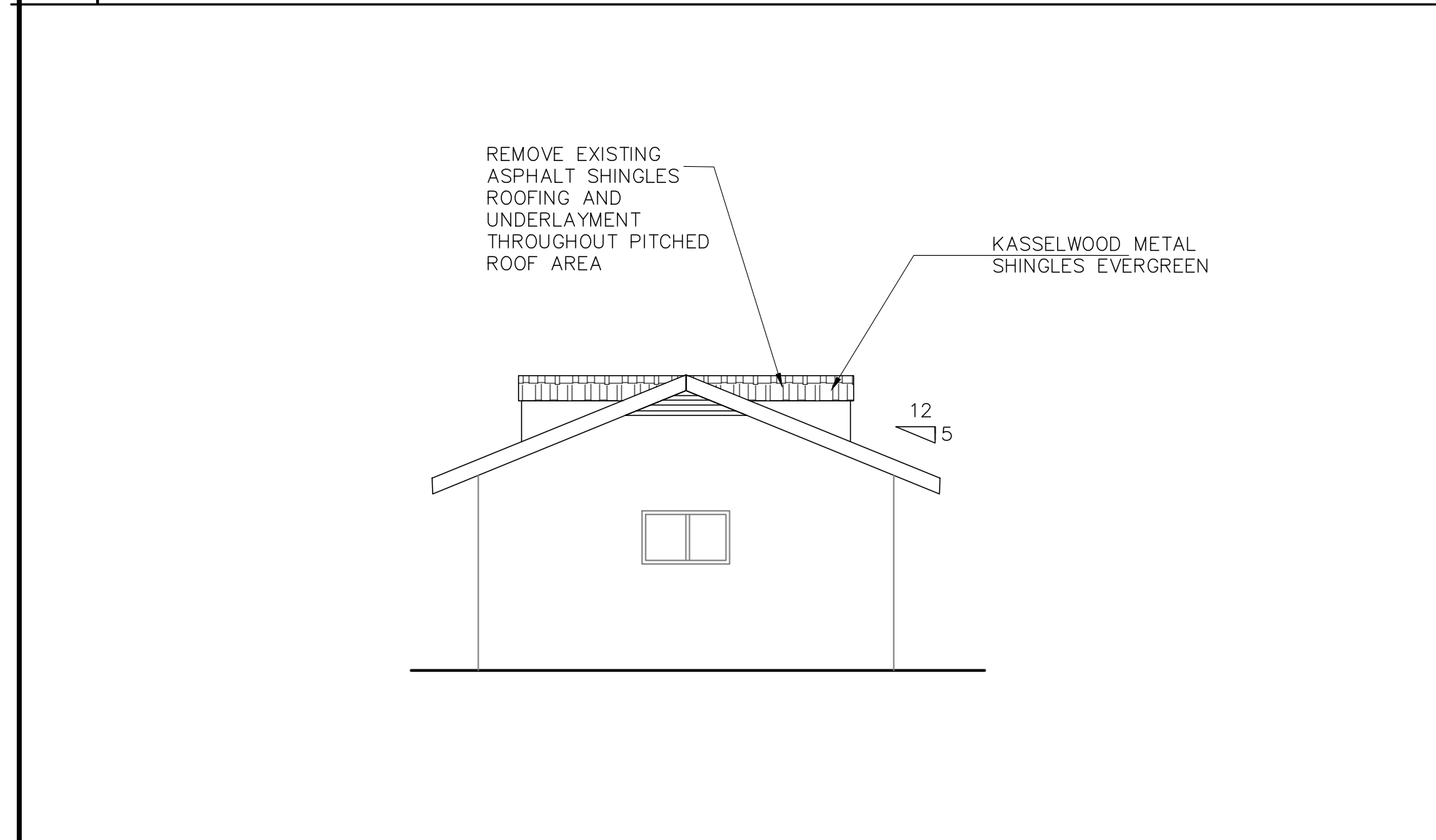
- 1.) DETAIL REFERENCES ARE TYPICAL FOR SIMILAR CONDITIONS.
- 2.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGED GROUNDS AND SHALL RESTORE LANDSCAPING, PAVEMENTS, AND ALL OTHER WALKING SURFACES TO PRE-CONSTRUCTION CONDITION.
- 3.) REFER TO ELEVATIONS FOR APPROXIMATE EXISTING ROOF PITCHES NOT SHOWN ON ROOF PLANS
- 4.) ANY AND ALL CONDUITS, PIPING, CABLE, ETC IN CONFLICT WITH WORK TO BE PERFORMED SHALL BE LOOSENED AND RESECURED OR REMOVED AND RESET AS REQUIRED TO FACILITATE THE CONSTRUCTION.
- 5.) CONTRACTOR SHALL NOTIFY ARCHITECT PRIOR TO REMOVAL OF SHINGLE ROOFING TO ARRANGE INSPECTION TO DETERMINE QUANTITIES DAMAGED ROOF SHEATHING REQUIRING REPLACEMENT.
- 6.) BUILDING SHALL REMAIN DRY THROUGHOUT ROOF REPLACEMENT. ONLY REMOVE AS MUCH ROOFING AS CAN BE REPLACED WITHIN A CLEAR WEATHER PERIOD.
- 7.) CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ALL ITEMS DAMAGED BY CONSTRUCTION ACTIVITIES TO THE SATISFACTION AND ACCEPTANCE OF THE ARCHITECT, AND THE MONMOUTH COUNTY PARKS SYSTEM.
- 8.) ALL DIMENSIONS SHOWN ON THIS DRAWING ARE TO BE CONSIDERED APPROXIMATE BASED ON MEASUREMENTS TAKEN IN THE FIELD.
- 9.) REPLACE ALL EXISTING FLASHINGS AS DETAILED.
- 10.) CONTRACTOR TO REMOVE AND SALVAGE ALL EXISTING SIGNAGE ON EXISTING FASCIA PRIOR TO PAINTING. INSTALL EXISTING SIGNAGE WHERE PREVIOUSLY LOCATED AFTER COMPLETION OF PAINTING.
- 11.) ALL NEW METAL CLEATS ARE TO BE CONTINUOUS.

7 FRONT ELEVATION - BLDG. 1312 1/8" = 1'-0"

8 ROOF PLAN - BLDG. 1312 1/8" = 1'-0"

NOTE: UNLESS PRINTED FULL SIZE, THESE DRAWINGS WILL NOT BE TO SCALE.

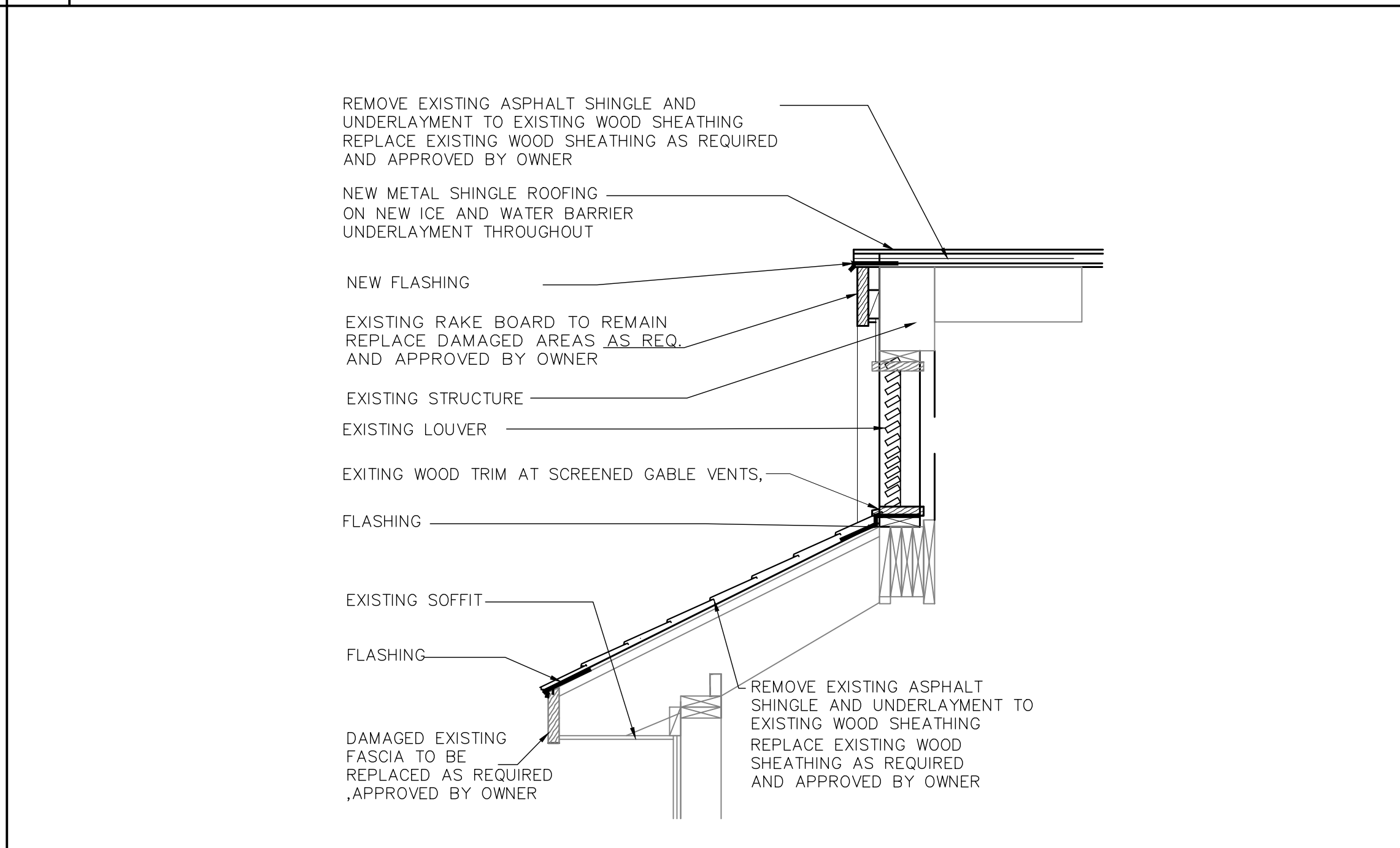
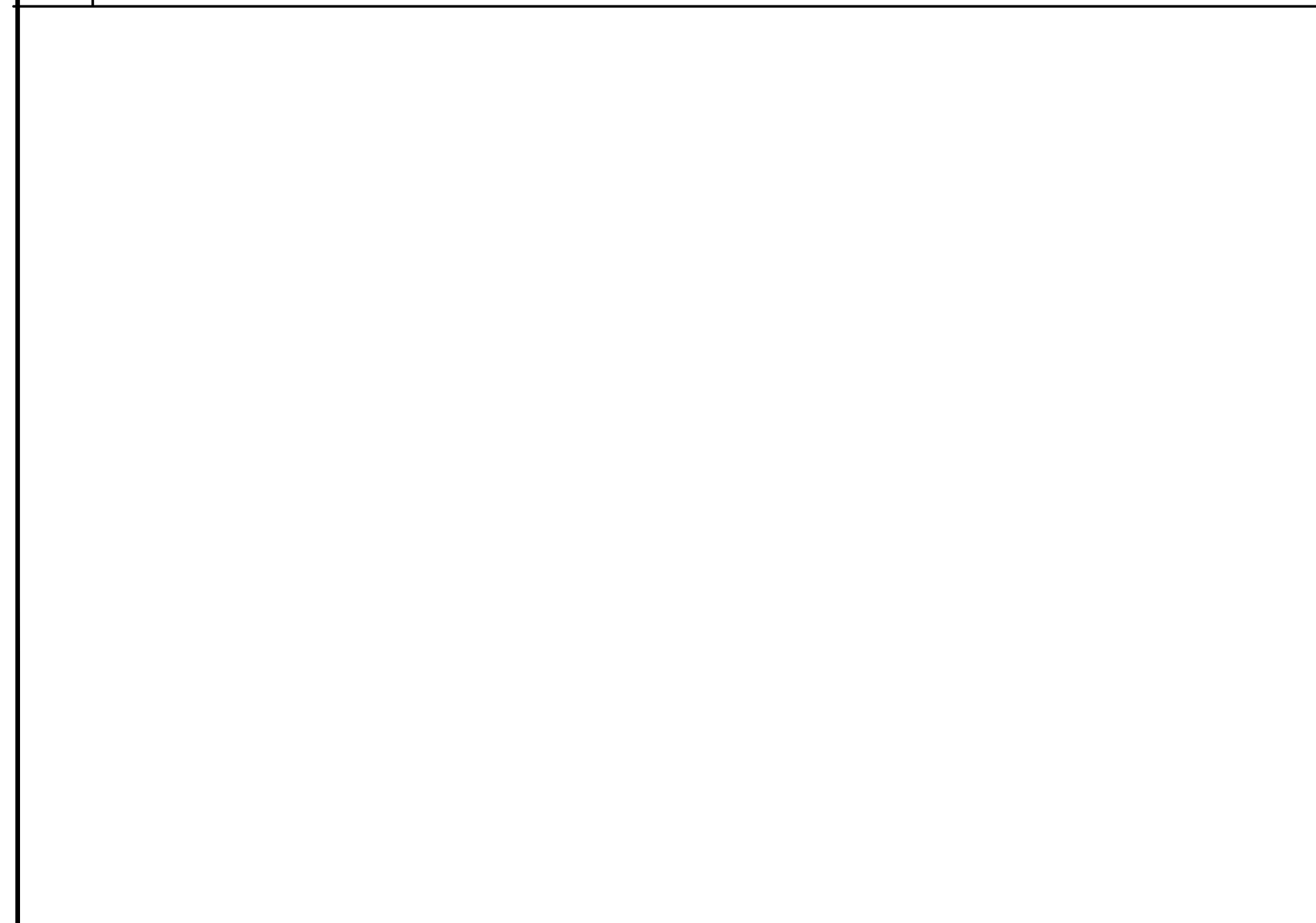
THESE DRAWINGS, SPECIFICATIONS AND DESIGNS ARE THE PROPERTY OF THE MONMOUTH COUNTY PARK SYSTEM (MCPs). NO PART THEREOF SHALL BE COPIED OR USED WITH ANY OTHER WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN DEVELOPED. WITHOUT THE WRITTEN CONSENT OF MCPs, MCPs WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.



4 SIDE E ELEVATION - BLDG. 1312 1/8" = 1'-0"

5 METAL SHINGLE EAVE DETAIL N.T.S.

6 ROOF RIDGE DETAIL



1 NOT USED.

2 METAL SHINGLE DETAIL

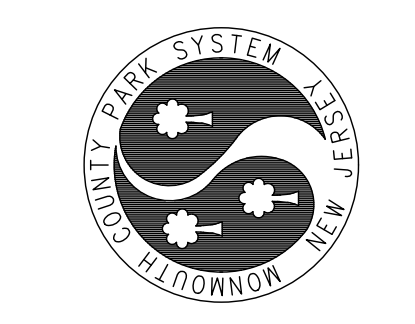
3 RAKE DETAIL

REV	DATE	BY

NOTE: UNLESS PRINTED FULL SIZE, THESE DRAWINGS WILL NOT BE TO SCALE.

THESE DRAWINGS, SPECIFICATIONS AND DESIGNS ARE THE PROPERTY OF THE MONMOUTH COUNTY PARK SYSTEM (MCPs). NO PART THEREOF SHALL BE COPIED OR USED WITH ANY OTHER WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN DEVELOPED. WITHOUT THE WRITTEN CONSENT OF MCPs, MCPs WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

MONMOUTH COUNTY PARK SYSTEM  
 BOARD OF PARK AND RECREATION COMMISSIONERS  
 805 NEWMAN SPRINGS ROAD  
 LINDROFT, NEW JERSEY 07738-1965  
 PHONE (732) 842-4000 FAX (732) 842-3640



ROOF REPLACEMENT OF BLDG. #1302 & BLDG #1312,  
 HOMINY HILL GOLF COURSE, COLTS NECK, NJ  
 TITLE: IRRIGATION PUMP HOUSE PLAN, ELEVATIONS & DETAILS

DATE 2022 SCALE AS NOTED PROJECT # 223019 DRAWN MT CHECKED MT