

# REHABILITATION OF THE FORTY STALL BARN

## THOMPSON PARK

### 805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738



PREPARED FOR:  
MONMOUTH COUNTY PARK SYSTEM  
805 Newman Springs Road, Lincroft, NJ 07738  
732.842.4000 | monmouthcountyparks.com

CONSTRUCTION MANAGER:  
EPIC MANAGEMENT  
136 11th Street, Piscataway, NJ 08854  
732.752.6100 | epicbuilds.com

ARCHITECT:  
**HMRARCHITECTS**  
821 ALEXANDER ROAD - SUITE 115  
PRINCETON, NEW JERSEY 08540  
609-452-1070 - HMR-ARCHITECTS.COM

ELECTRICAL ENGINEER:  
KELTER AND GILLIGO  
196 Princeton-Hightstown Road  
Building 1A, Suite 9  
Princeton Junction, NJ 08550  
609.799.8336 | kandg-pc.com

## ISSUED FOR BID - JULY 7, 2023

**BUILDING FACTS:**

BUILDING IS LISTED ON THE NEW JERSEY AND NATIONAL REGISTER OF HISTORIC PLACES.

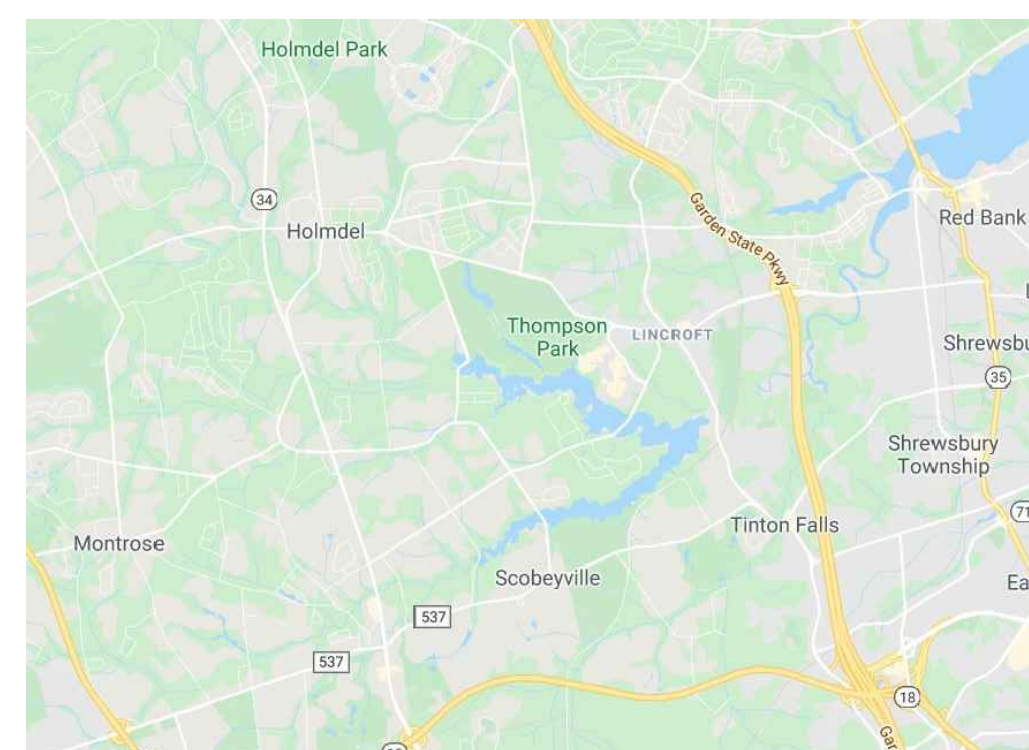
**SCOPE OF WORK:**

THE GOAL OF THE PROJECT IS TO REHABILITATE THE EXISTING FORTY STALL BARN FOR USE AS MONMOUTH COUNTY PARK STORAGE IN THE EAST SECTION & INTERPRETIVE SPACE IN THE WEST SECTION & TO RESTORE THE EXTERIOR TO A MORE HISTORICALLY APPROPRIATE DESIGN. THE PROJECT INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

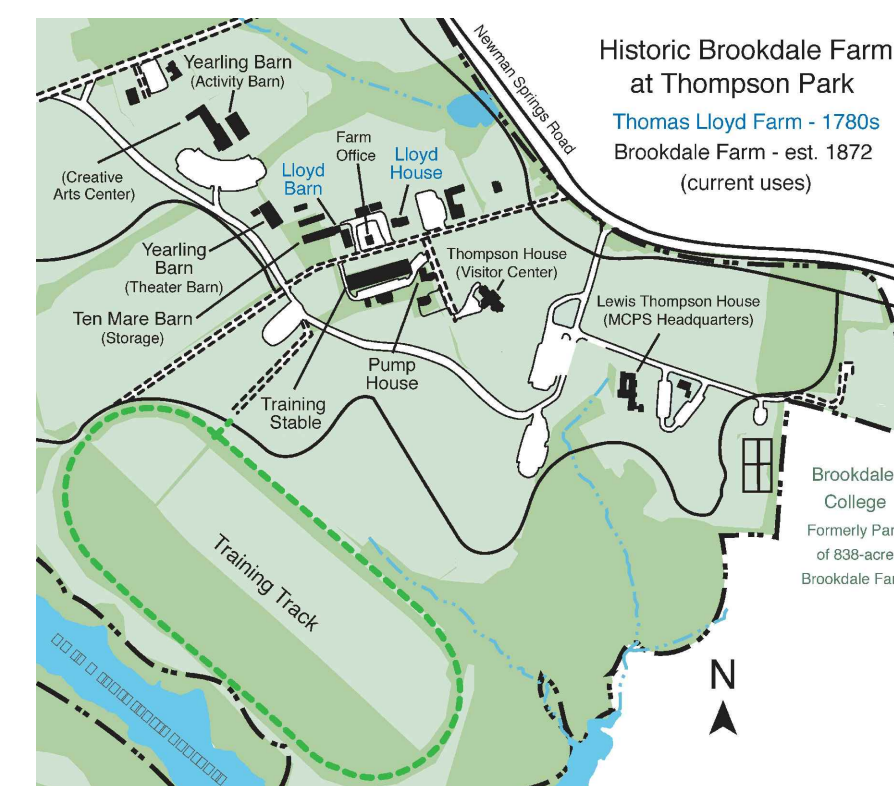
- 1) **DEMOLITION**
  - A. CMU FOUNDATION AT SOUTHEAST WALL
  - B. ALL WOOD PERIMETER POSTS AT WINDOWED BAYS. SALVAGE ATTACHED DIAGONAL BRACES. SHORE EXTERIOR WINDOWS & WALLS.
  - C. WALLS AT WINDOWED BAYS BELOW WINDOWS, INCLUDING SILL PLATE & SILL OF BOTTOM ROW OF WINDOWS
  - D. ALL FASCIA & SOFFIT ON NORTH & SOUTH ELEVATIONS
  - D. ALL DOORS ON NORTH & SOUTH ELEVATIONS
  - E. GARAGE DOORS ON EAST & WEST ELEVATIONS
  - F. WOOD PARTITION WALL & DOORS IN EAST ALLEY
  - G. WD BEAM FLOORING AT EAST & WEST WALKS
  - H. SELECT ELECTRICAL EQUIPMENT
  - I. ASPHALT SHINGLE ROOF SYSTEM AT MAIN ROOF & CUPOLAS
- 2) **EXTERIOR**
  - A. REGRADE NORTH & SOUTH ELEVATIONS AWAY FROM BARN
  - B. NEW BARRIER-FREE STABILIZED AGGREGATE PATH AT SOUTH ENTRY
  - C. NEW CONCRETE FOUNDATION AT SOUTHEAST WALL
  - D. NEW PERIMETER WOOD POSTS AT WINDOWED BAYS. REATTACH EXISTING BRACES.
  - E. REBUILD WALLS AT WINDOWED BAYS. INFILL WALL AT WEST ELEVATION WHERE GARAGE DOOR WAS REMOVED. MATCH TO OTHER WINDOWED BAYS.
  - F. NEW DOUBLE DOORS ON NORTH & SOUTH ELEVATIONS
  - G. NEW GARAGE DOOR AT EAST ELEVATION
  - H. RESTORE ALL WINDOWS
  - I. NEW SOFFIT & FASCIA ON NORTH & SOUTH ELVATIONS
  - J. RESTORE LOFT DOORS
  - K. PREP & PAINT ALL EXTERIOR WOODWORK
  - L. NEW ASPHALT SHINGLE ROOF SYSTEM AT MAIN ROOF & CUPOLAS
  - M. NEW HALF-ROUND GUTTERS, DOWNSPOUTS, & SPLASHBLOCKS AT MAIN ROOF
  - N. RESTORE EXPOSED RIDGE BEAM & EAVES BOARDS AT EAST & WEST ELEVATIONS
- 3) **INTERIOR**
  - A. INSTALL STABILIZED AGGREGATE AT WEST SIDE & GRAVEL AT EAST SIDE
  - B. REPLACE OR RESET SELECT AREAS OF WOOD BLOCKING PATH
  - C. REFRAME ALLEY WD FLOORS. SALVAGE, STORE, & REINSTALL EXISTING FLOORBOARDS. REPLACE MISSING OR DAMAGED BOARDS
  - D. REPLACE WD BEAM FLOORING AT EAST & WEST WALKS
  - E. NEW WD GATES BETWEEN EAST & WEST SIDES
  - F. RESTORE STALL WINDOWS. SELECT REPAIRS OF STALL DOORS & INTERIORS. SELECT NEW STALL DOORS
  - G. NEW STAIRS TO LOFT IN STALL 19
  - H. CLEAN INTERIOR THROUGHOUT & EXCAVATE DIRT FROM STALLS
- 4) **ELECTRICAL**
  - A. NEW ELECTRICAL EQUIPMENT THROUGHOUT
  - B. NEW LIGHTING THROUGHOUT



40 STALL BARN AKA "TRAINING STABLE" VIEWED FROM THE SOUTHEAST



LOCAL MAP



PARK MAP

**DRAWING LIST:**

CVR	COVER	ELECTRICAL	
G-001	CODE PLANS	ED-100	DEMO PLANS - ELECTRICAL
C-100	SITE PLAN & DETAILS	E-100	FLOOR PLANS - ELECTRICAL
AD-100	DEMO PLANS & DETAILS	E-200	DIAGRAMS - ELECTRICAL
A-100	FIRST FLOOR & LOFT PLANS	A-300	DETAILS - ELECTRICAL
A-101	ROOF PLAN		
A-102	FIRST FLOOR WEST PLAN		
A-103	FIRST FLOOR EAST PLAN		
A-104	LOFT WEST PLAN		
A-105	LOFT EAST PLAN		
A-200	EXTERIOR ELEVATIONS		
A-300	BUILDING SECTIONS		
A-400	DETAILED ELEVATIONS & PLANS		
A-500	WALL DETAILS		
A-501	INTERIOR DETAILS		
A-502	DETAILS		
A-503	STAIR DETAILS		
A-504	RAILING DETAILS		
A-505	WINDOW & DOOR DETAILS		
A-506	DOOR DETAILS		
A-507	ENTRY DOORS DETAILS		
A-600	SCHEDULES		

**PROJECT NOTES:**

1. THE PROJECT MANUAL & GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS, AND DIVISION 1 SPECIFICATIONS, APPLY TO THE WORK SCOPE ON THE DRAWINGS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE STATE & LOCAL BUILDING CODES & ALL OTHER GOVERNING AGENCIES AND REGULATIONS.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF THE WORK. VERIFY LAYOUT IN RELATION TO PROPERTY, BENCHMARKS, & OTHER FIXED CONDITIONS. REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
4. NOTIFY ARCHITECT OF DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
5. ALL TIMBER DIMENSION ARE APPROXIMATE. CONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS IN FIELD. REPORT ALL DISCREPANCIES AND CONDITIONS THAT WOULD PREVENT SUCCESSFUL INSTALLATION OF PROPOSED REPAIRS TO ARCHITECT FOR RESOLUTION PRIOR TO START OF CONSTRUCTION.
6. NOTIFY ARCHITECT OF DETERIORATED WOOD STRUCTURAL ELEMENTS.
7. FAILURE TO VERIFY ALL CONDITIONS AFFECTING THE WORK & FAILURE TO REPORT DISCREPANCIES WILL NOT RELIEVE THE CONTRACTOR OF COMPLETE COORDINATION OF ALL ASPECTS OF THE WORK
8. CONTRACTOR SHALL REMOVE ALL RUBBISH & DEBRIS FROM THE SITE DURING THE COURSE OF PROJECT, & DISPOSE OF LEGALLY OFF-SITE.
9. CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING, & PROTECTION REQUIRED TO COMPLETE THE WORK INDICATED ON THE CONTRACT DOCUMENTS.
10. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION & SEDIMENTATION CONTROL, & COORDINATING THE WORK OF ALL TRADES UNDER THE CONTRACT.

SCALE: AS NOTED  
DRAWN BY: OFFICE  
DATE: 7/7/23

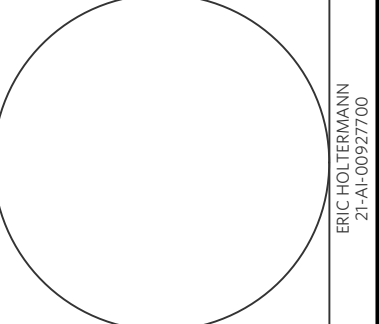
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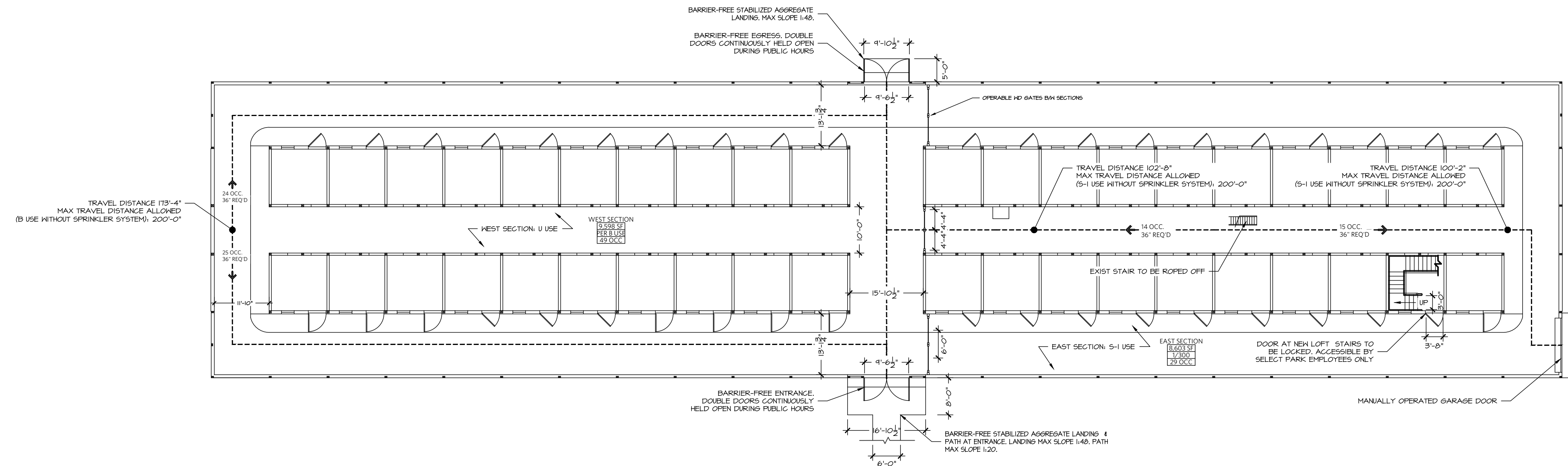
**CVR**



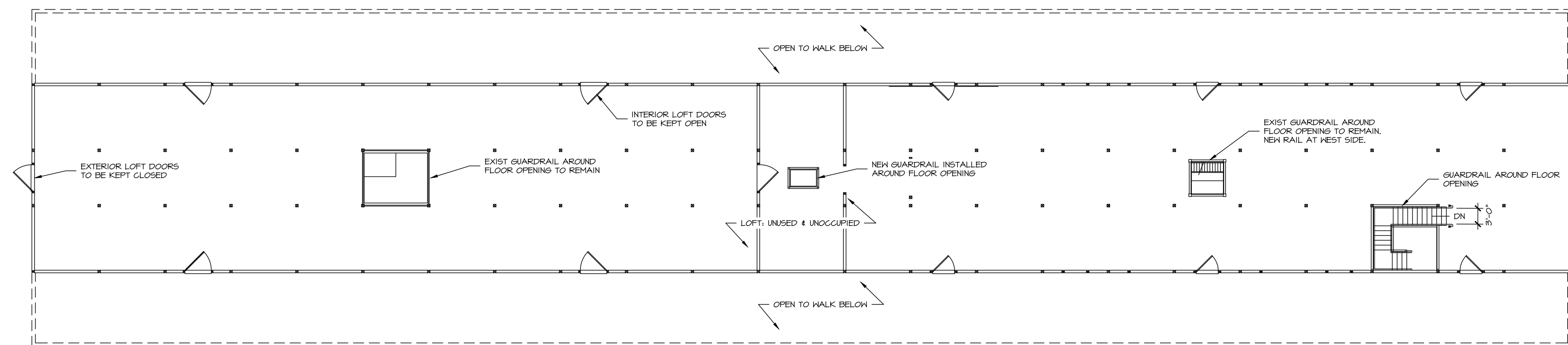
REHABILITATION OF THE  
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805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

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**CVR**



1  
G-001 FIRST FLOOR PLAN  
SCALE: 1/16" = 1'-0"



2  
G-001 LOFT FLOOR PLAN  
SCALE: 1/16" = 1'-0"

**BUILDING CODE NOTES**

**BUILDING NAME:** 40 STALL BARN, AKA TRAINING STABLE  
**PROJECT ADDRESS:** THOMPSON PARK, 805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738  
**MUNICIPALITY:** MIDDLETOWN TOWNSHIP  
**COUNTY:** MONMOUTH  
**BLOCK:** 1099 **LOT:** 8  
**PROPERTY CLASS:** 15C  
**ZONING:** R-220

**OWNER:** MONMOUTH COUNTY PARK SYSTEM  
**OWNER ADDRESS:** 805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

**APPLICABLE CODES:**

- INTERNATIONAL BUILDING CODE (IBC) 2021, NJ EDITION
- UNIFORM CONSTRUCTION CODE, NJAC 5:23
  - SUBCHAPTER 6 - REHABILITATION SUBCODE
  - WORK CATEGORY: ALTERATION
  - 5:23-6.33 HISTORIC BUILDINGS IS APPLICABLE
- NJ REGISTER: 5/9/2019, ID#: 3360
- NATIONAL REGISTER: 11/9/2020: REFERENCE #: RS100004105
- BARRIER FREE SUBCODE (ICC A117.1-2017)
- NATIONAL ELECTRICAL CODE (NEC) 2020 (NFPA 70)

**OCCUPANCY CLASSIFICATION/USE:**  
 FIRST FLOOR (WEST SECTION) - B - BUSINESS  
 FIRST FLOOR (EAST SECTION) - S1 - STORAGE  
 LOFT - NO OCCUPANCY

**CONSTRUCTION TYPE:** V-B  
**NUMBER OF STORIES:** 2  
**MAX HEIGHT:** 39'-2"

**GROSS SQUARE FOOT AREA**

**EXISTING:**

FIRST FLOOR: 18,201 SF  
 WEST SECTION: 9,598 SF  
 EAST SECTION: 8,603 SF  
 LOFT: 9,900 SF

**PROPOSED:**

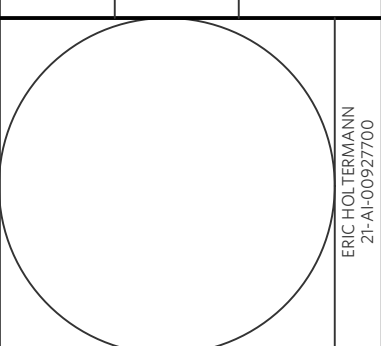
FIRST FLOOR: 18,201 SF (NO CHANGE)  
 WEST SECTION: 9,598 SF (NO CHANGE)  
 EAST SECTION: 8,603 SF (NO CHANGE)  
 LOFT: 9,900 SF (NO CHANGE)

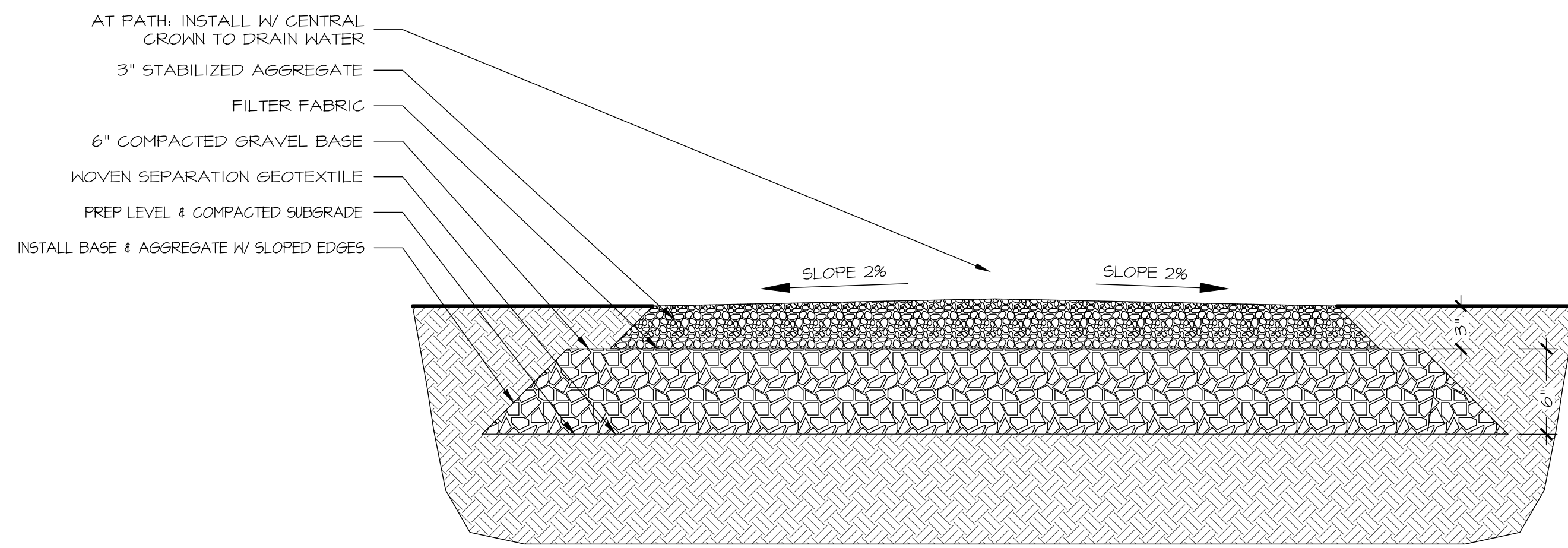
**OCCUPANT LOAD:**

(FIRST FLOOR (WEST SECTION): 49 (PER B USE)  
 (FIRST FLOOR (EAST SECTION): 29 [8,603 SF / 300 GROSS (STORAGE)]

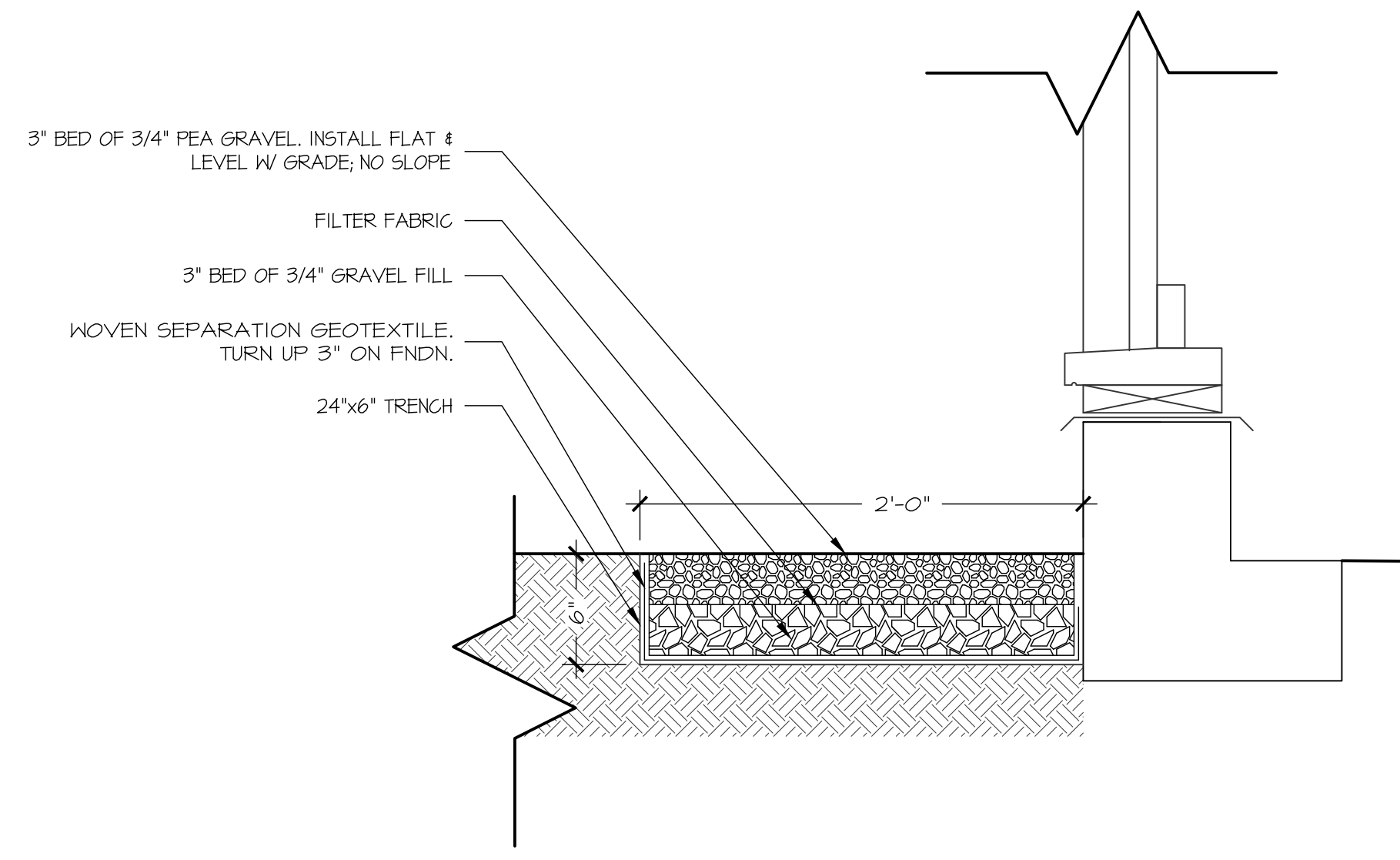
**LEGEND**

- |          |   |                               |
|----------|---|-------------------------------|
| ROOM     | ← | ROOM IDENTIFICATION           |
| 000 SF   | ← | ROOM AREA                     |
| 1/000    | ← | OCCUPANT LOAD FACTOR          |
| 0 OCC    | ← | REQUIRED OCCUPANT CAPACITY    |
| ↑        | ← | DIRECTION OF EXIT TRAVEL PATH |
| 0 OCC.   | ← | NUMBER OF OCCUPANTS           |
| 0" REQ'D | ← | REQUIRED EGRESS WIDTH         |

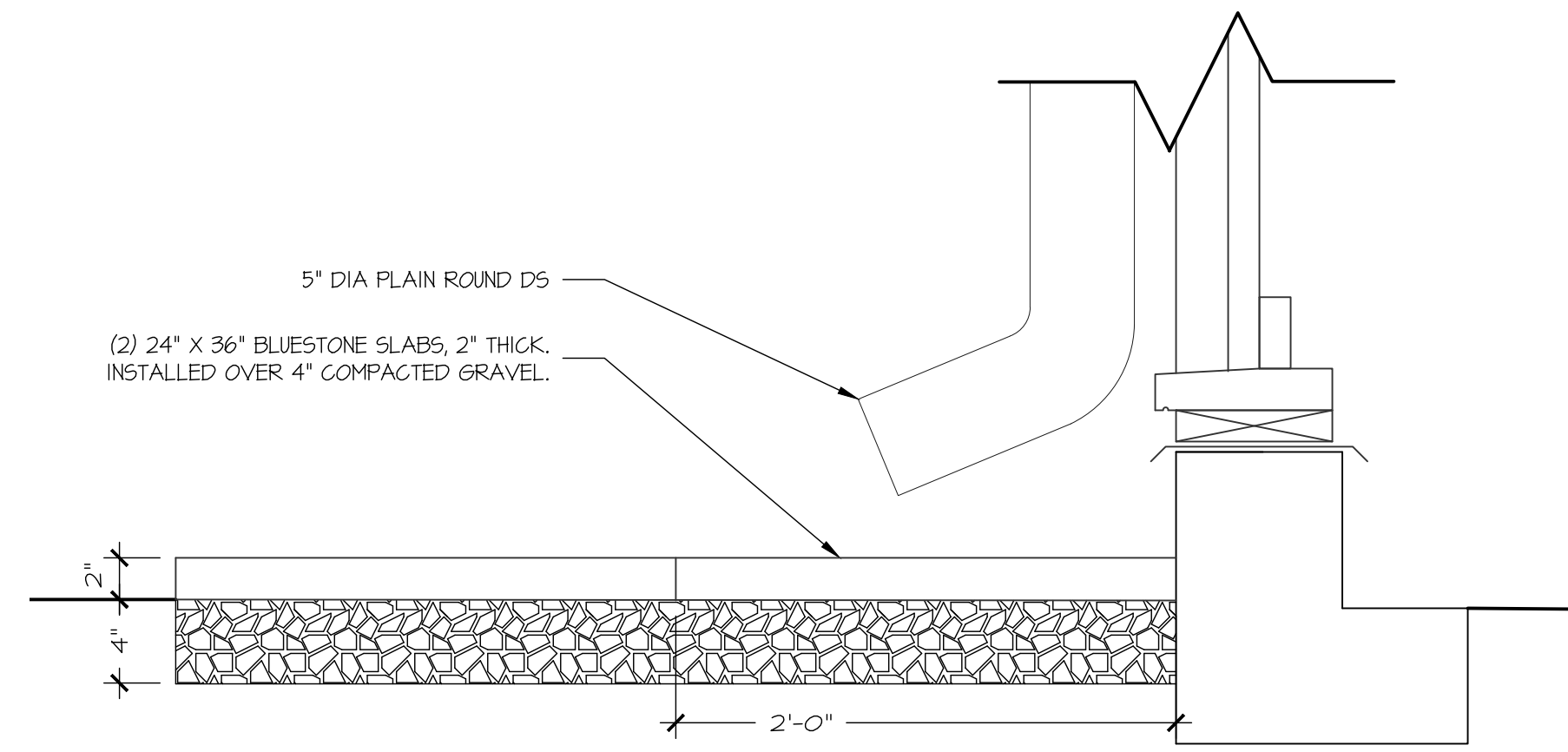




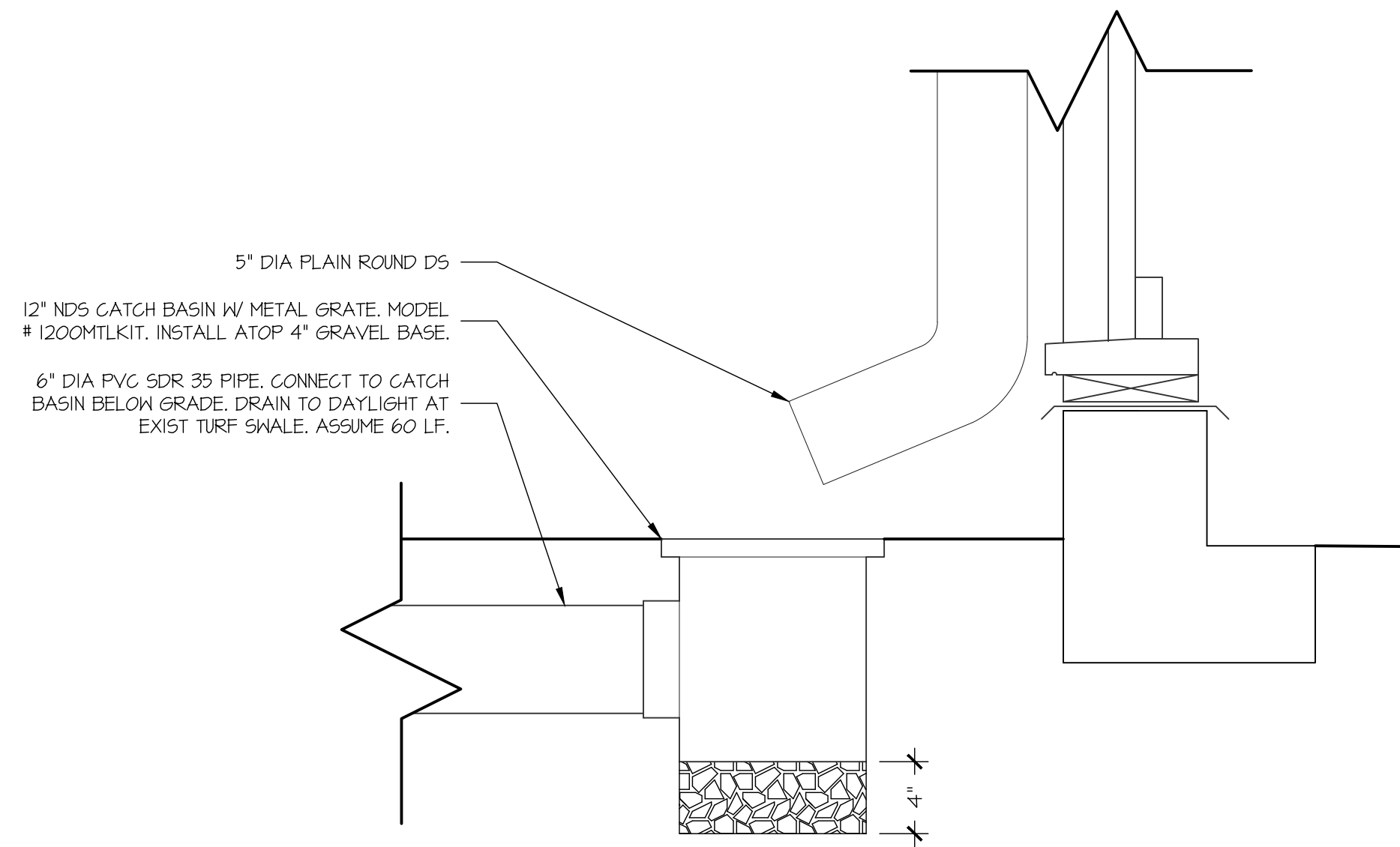
1 STABILIZED AGGREGATE SECTION  
SCALE: 1-1/2" = 1'-0"



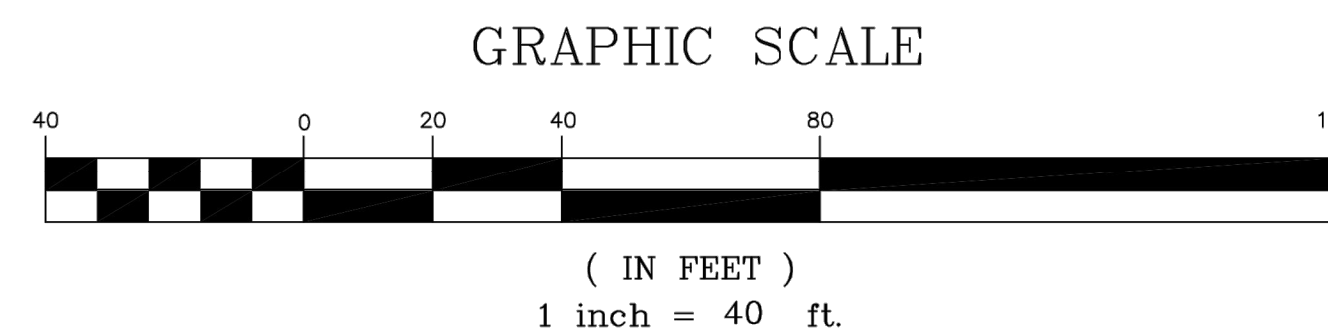
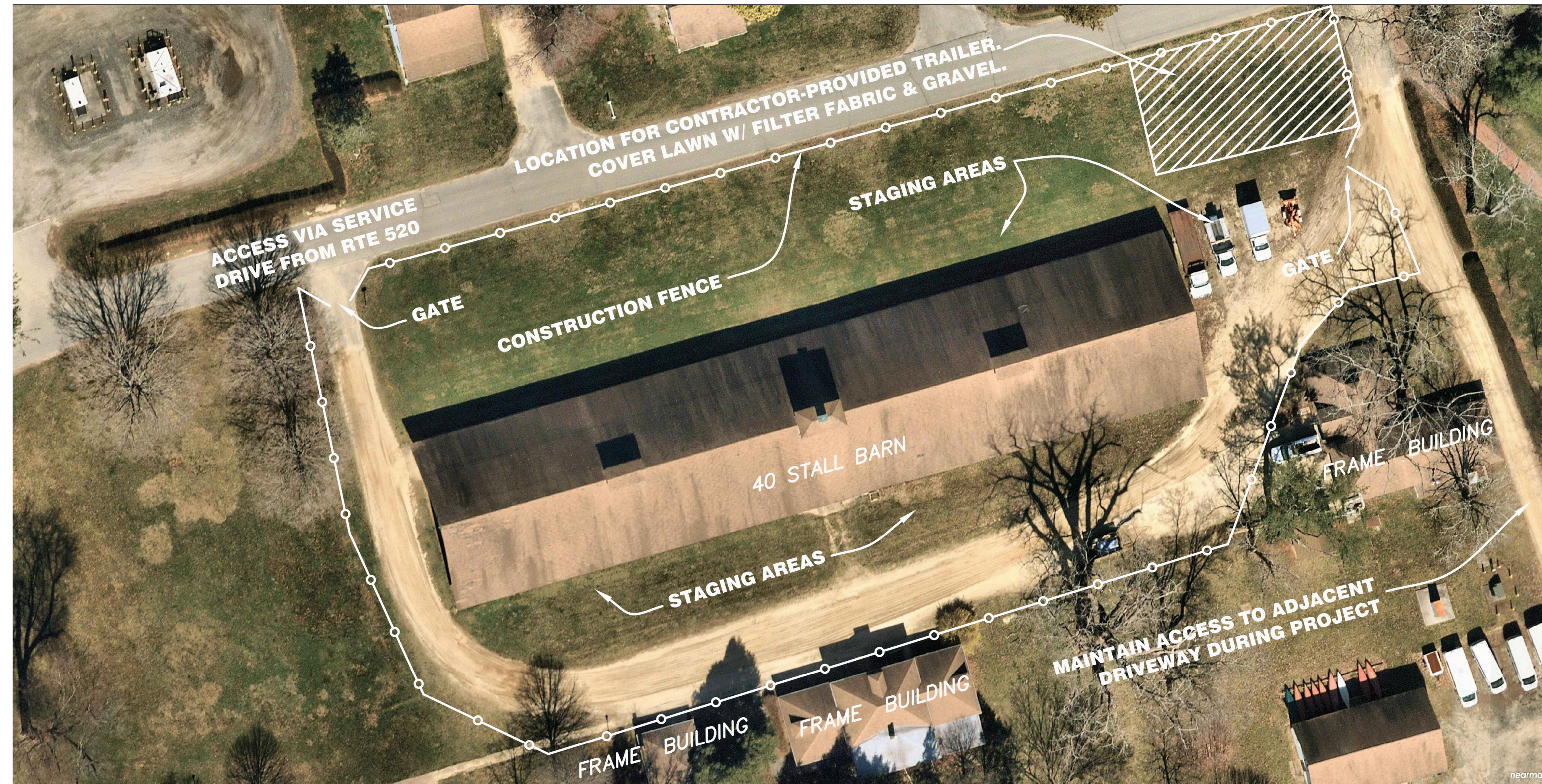
2 ALT #3: GRAVEL AT N & S FNDN  
SCALE: 1-1/2" = 1'-0"



3 DOWNSPOUT SPLASH PAD SECTION, TYP  
SCALE: 1-1/2" = 1'-0"



4 SE DOWNSPOUT SECTION  
SCALE: 1-1/2" = 1'-0"



SITE PLAN

5 SITE PLAN  
SCALE: NTS

SCALE: NTS  
DRAWN BY: AMPS  
DATE: 7/7/23  
**C-100**

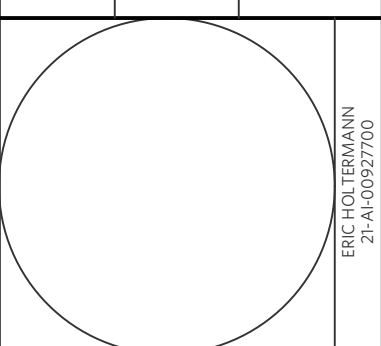
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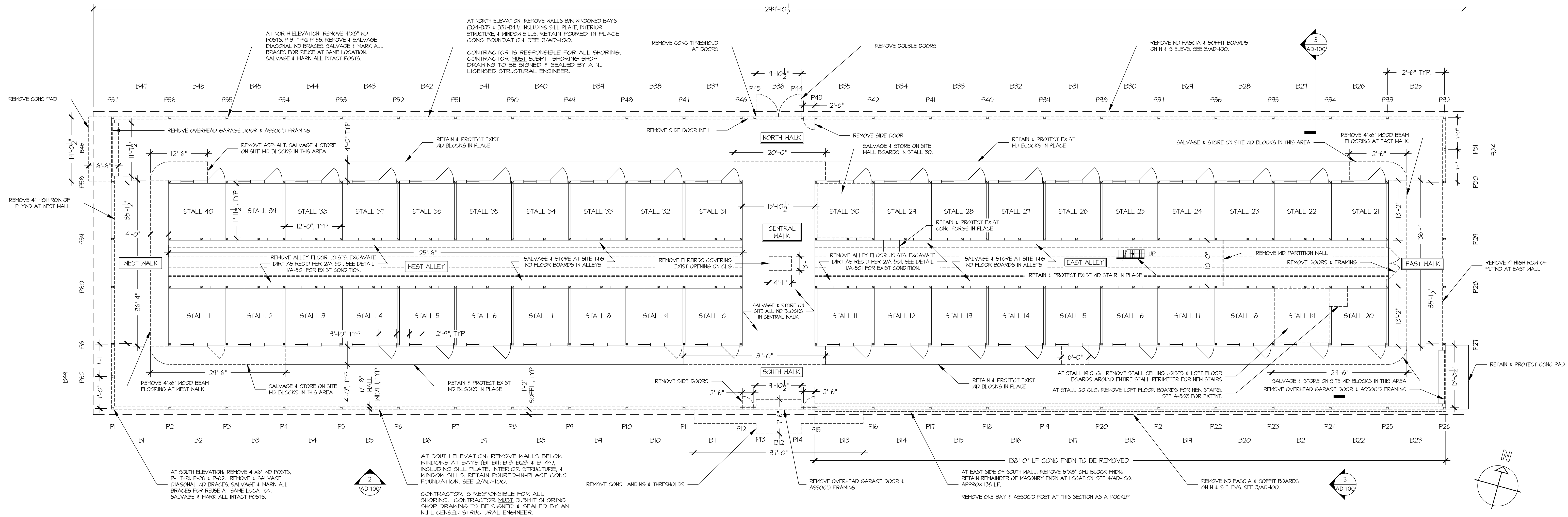
**SITE PLAN & DETAILS**



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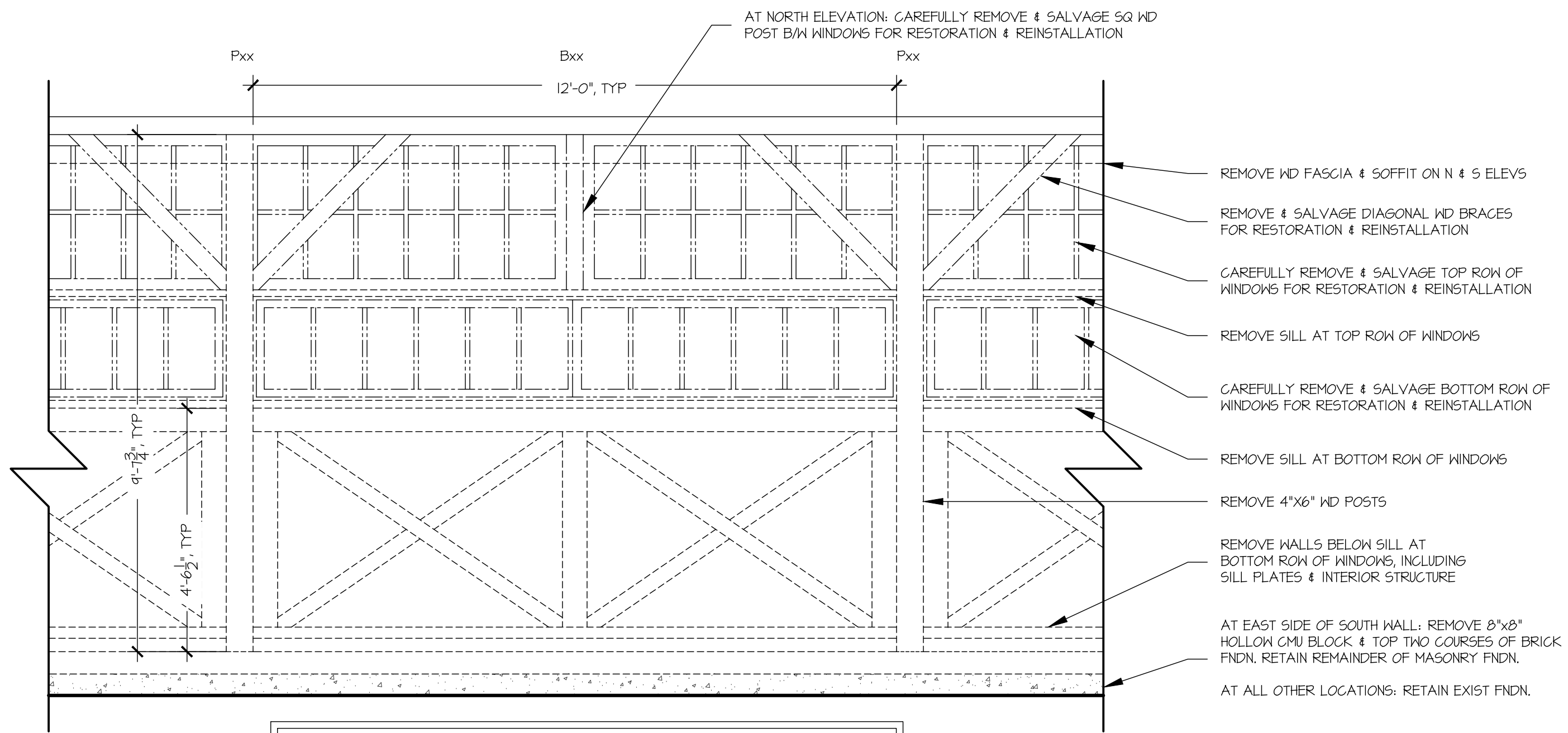
REHABILITATION OF THE  
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THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

**C-100**



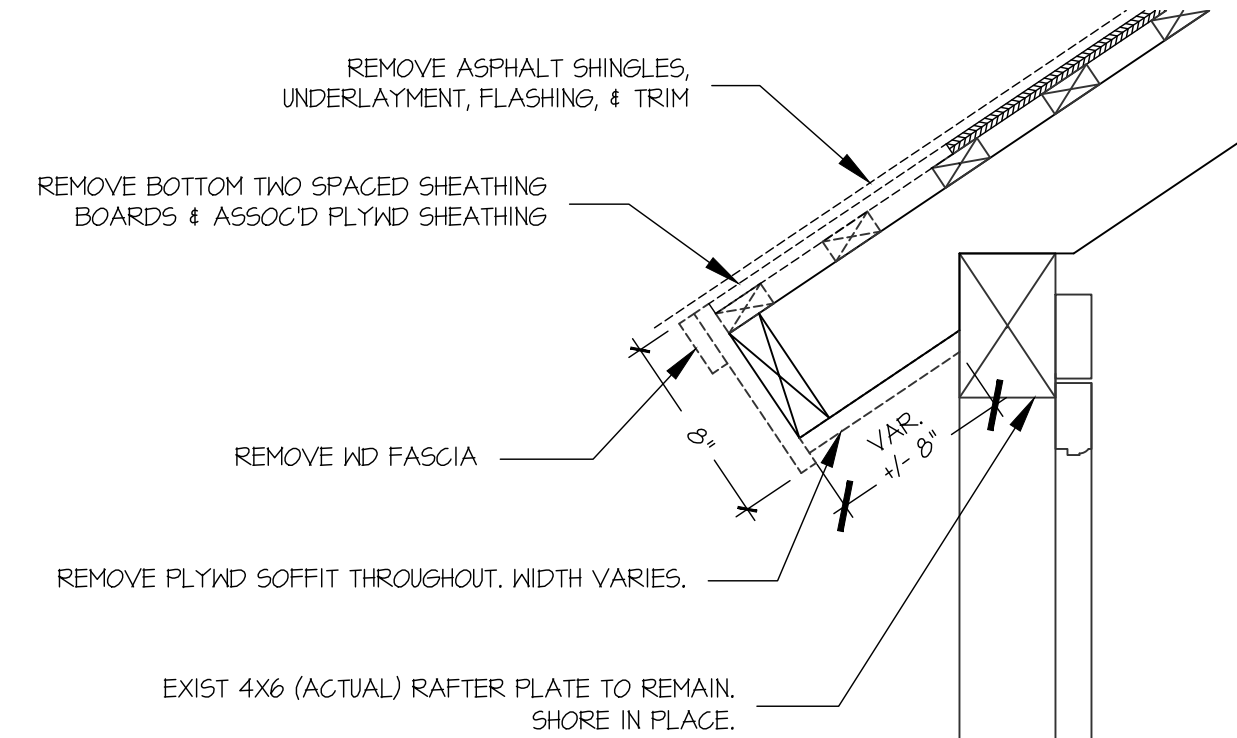
1 DEMO PLAN

SCALE: 3/32" = 1'-0"



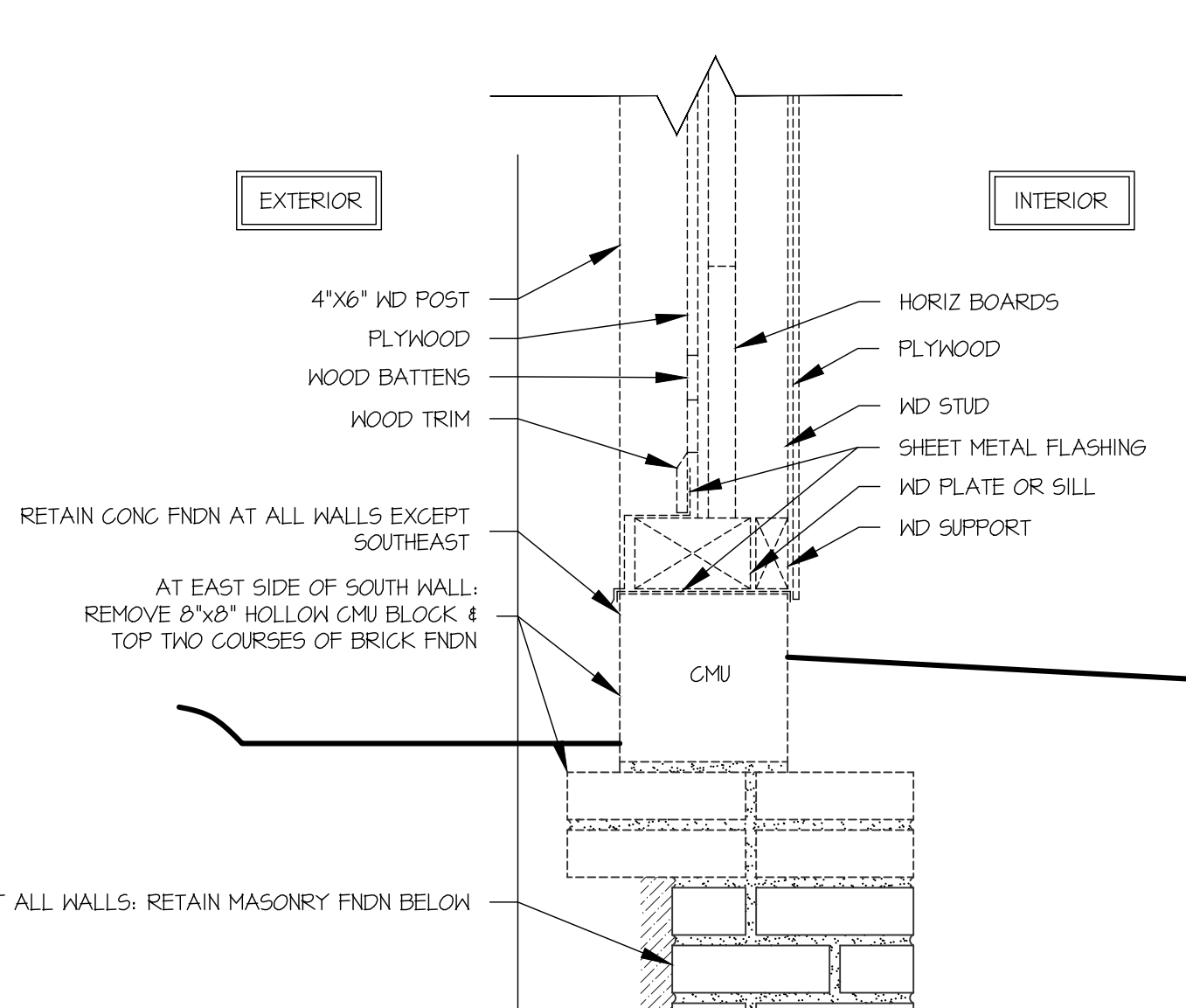
2 TYP EXTERIOR DEMO

SCALE: 1/2" = 1'-0"



3 TYP NORTH & SOUTH EAVES DEMO

SCALE: 1-1/2" = 1'-0"



4 TYP EXT WALL DEMO SECTION

SCALE: 1-1/2" = 1'-0"

- DEMO NOTES -

1. SEE ELECTRICAL DRAWING ED-100 FOR ADDITIONAL WORK NOT SHOWN ON ARCHITECTURAL DRAWING.
2. PRIOR TO COMMENCING DEMOLITION WORK, CONDUCT PRE-DEMOLITION CONFERENCE AT PROJECT SITE.
3. PRIOR TO COMMENCING DEMOLITION WORK, ARCHITECT TO REVIEW & APPROVE ALL RELATED SUBMITTALS PROVIDED BY CONTRACTOR.
4. SEE SPEC SECTIONS 024114 "SELECTIVE DEMOLITION" & 0242146 "HISTORIC REMOVAL & DISMANTLING" FOR COMPLETE SCHEDULES.
5. SEE REFERENCED SECTIONS ABOVE & SECTION 015000 "TEMPORARY FACILITIES & CONTROLS" & SECTION 013510 "SPECIAL PROCEDURES FOR HISTORIC TREATMENT" FOR REMOVAL & STORAGE SUBMITTALS, PROCEDURES, METHODS & MATERIALS.
6. REMOVE ONE FULL BAY W/ CMU FOUNDATION BELOW & ONE ASSOCIATED POST AT AT EAST SIDE OF SOUTH WALL AS DEMOLITION MOCKUP.

- DEMO LEGEND -

- REMOVE & DISPOSE OF OR SALVAGE EXIST ITEM. SEE 1/AD-100 FOR DETAILS.
- \_\_\_\_\_ ITEM TO REMAIN
- P = POST
- B = BAY

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 DATE: 7/7/23  
 SCALE: AS NOTED  
 DRAWN BY: SS & SL  
 E.P.C. M.A. ENGINEERS, INC.  
 196 PRINCETON-HIGHSTOWN ROAD  
 PRINCETON, NJ 08550  
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 732.752.6100 | EPCBUILDS.COM

**AD-100**  
**DEMO PLANS & DETAILS**  
 REHABILITATION OF THE  
**FORTY STALL BARN**  
 THOMPSON PARK  
 805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

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**AD-100**

- NOTES -

**GENERAL:**

1. SEE ENLARGED PLANS ON A-102 THRU A-105 FOR ADD'L DIMENSIONS.

**EXTERIOR:**

1. PREP & PAINT ALL NEW & EXIST WOODWORK PER SPECIFICATIONS.

**INTERIOR:**

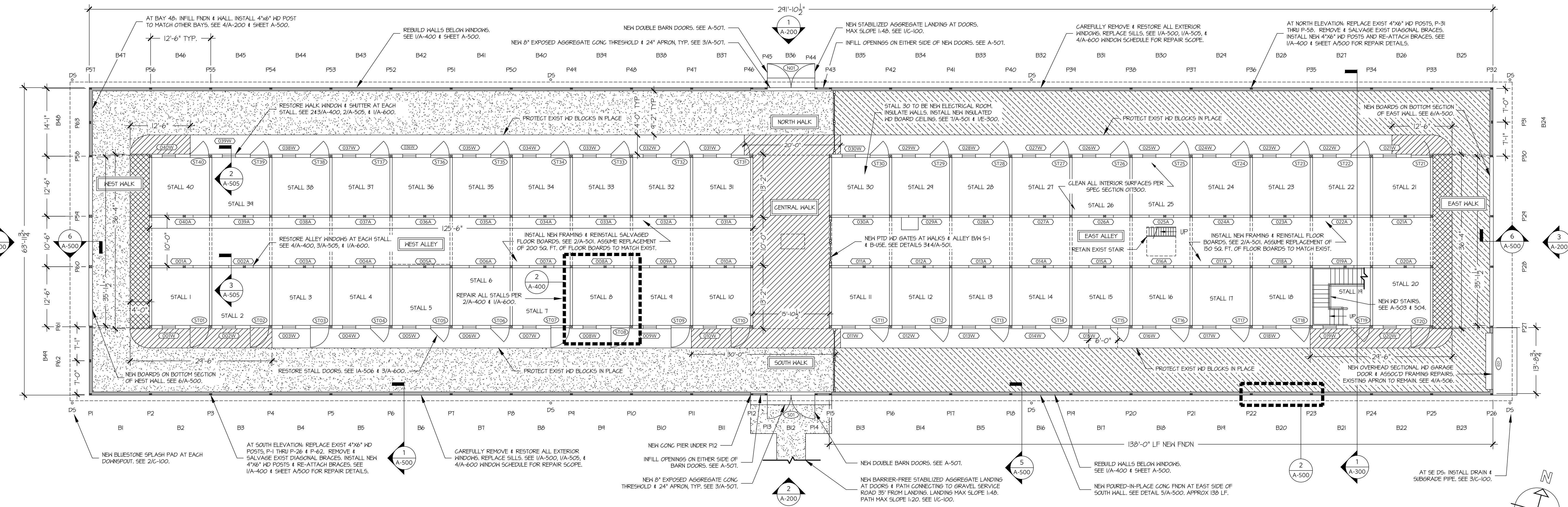
- PAINT ONLY NEW WORK; PAINT PER SPECIFICATIONS. EXISTING INTERIOR BUILDING COMPONENTS TO REMAIN ARE TO BE CLEANED ONLY. PATCHING & RESTORED ELEMENTS SHALL BE PAINTED OR FINISHED TO MATCH EXISTING.
- CLEAN & REMOVE BIRD GUANO FROM ALL HARD SURFACES AT BOTH THE GROUND FLOOR & LOFT ACCORDING TO SPEC SECTION 020710 "BIRD EXCREMENT REMOVAL."
- COMPLETE GENERAL CLEANING OF ENTIRE INTERIOR OF THE BUILDING ACCORDING TO SPEC SECTION 01300 "EXECUTION."

- ALTERNATES -

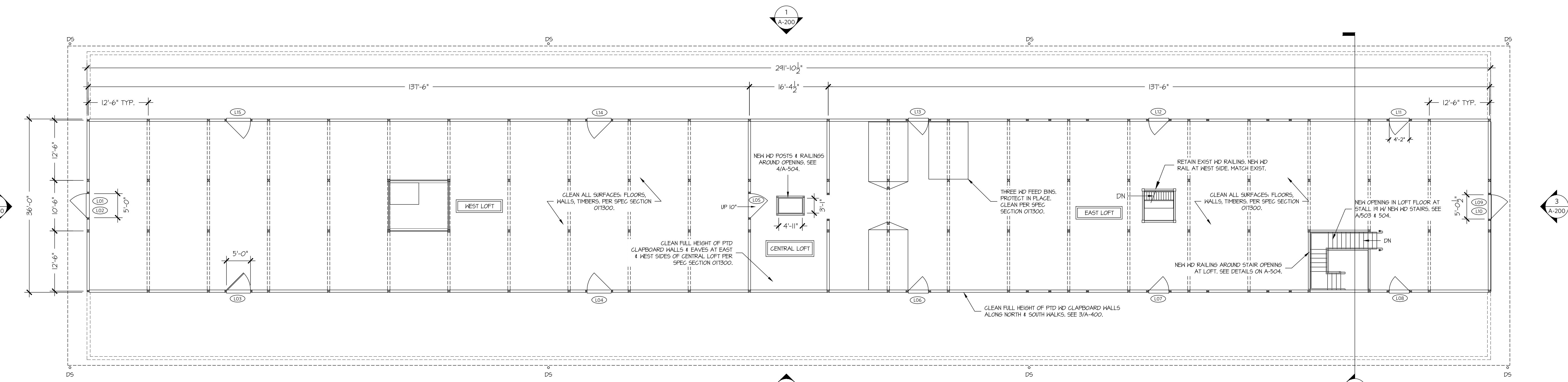
- DEDUCT ALL INTERIOR FINISH WORK AT STALLS 11 - 18 & 20 - 29. THE STAIRS & INTERIOR FINISH WORK IN STALL 19 WILL REMAIN IN BASE BID. ELEC WORK & INTERIOR FINISH WORK AT STALL 30 WILL REMAIN IN BASE BID. WORK AT THE WINDOWS, SHUTTERS, & DOORS AT STALLS 11 - 30 WILL REMAIN IN BASE BID. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOC'D WITH THE REPAIR OF THE FLOOR, WALLS, TRIM, & CEILINGS AS INDICATED ON THE STALL REPAIR SCHEDULE AT I/A-600.
- DEDUCT ALL WORK AT STALL WINDOWS & SHUTTERS AT STALLS 11 & 30 WILL REMAIN IN BASE BID. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOC'D WITH REPAIR OF THE WINDOWS & SHUTTERS AS INDICATED ON THE STALL REPAIR SCHEDULE AT I/A-600. THE DEDUCT INCLUDE THE WEST ALLEY WINDOWS.
- DEDUCT ALL WORK TO INSTALL ROOF GUTTERS, DOWNSPOUTS, SPLASH PADS, & UNDERGROUND DRAINAGE AS INDICATED ON SHEETS C-100, A-101, A-500, & A-502, & SPECIFIED IN SECTION 016200 SHEET METAL FLASHING & TRIM & 334000 STORM & DRAINAGE UTILITIES. SUBSTITUTE ADDITION OF 3/4" INCH PEEN GRAVEL AT BUILDING PERIMETER, TWO FEET FROM FOUNDATION WALL AS INDICATED ON SHEET C-100. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOCIATED WITH THE INSTALLATION OF THE ROOF DRAINAGE SYSTEM.

- LEGEND -

- INSTALL STABILIZED AGGREGATE PAVING AT WEST WIDE. EXCAVATE DIRT FLOOR AS REQD. STABILIZE EXIST WOOD BLOCK FLOORING IN PLACE. SEE 5/A-501.
- INSTALL GRAVEL AT EAST SIDE. SEE 3/A-501. STABILIZE EXIST WOOD BLOCK FLOORING IN PLACE. SEE 5/A-501.
- INSTALL NEW 4"x8" HD BEAM FLOORING TO MATCH EXIST AT WEST WALK. SEE 3/A-502.
- RESET WD BLOCKS IN THIS AREA. REPLACE DAMAGED OR MISSING WD BLOCKS TO MATCH EXIST. SEE 6/A-501.
- INSTALL NEW EXTERIOR WALL & WD POSTS. SEE I/A-400.
- P = POST  
B = BAY



1 FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"



2 LOFT PLAN  
SCALE: 3/32" = 1'-0"

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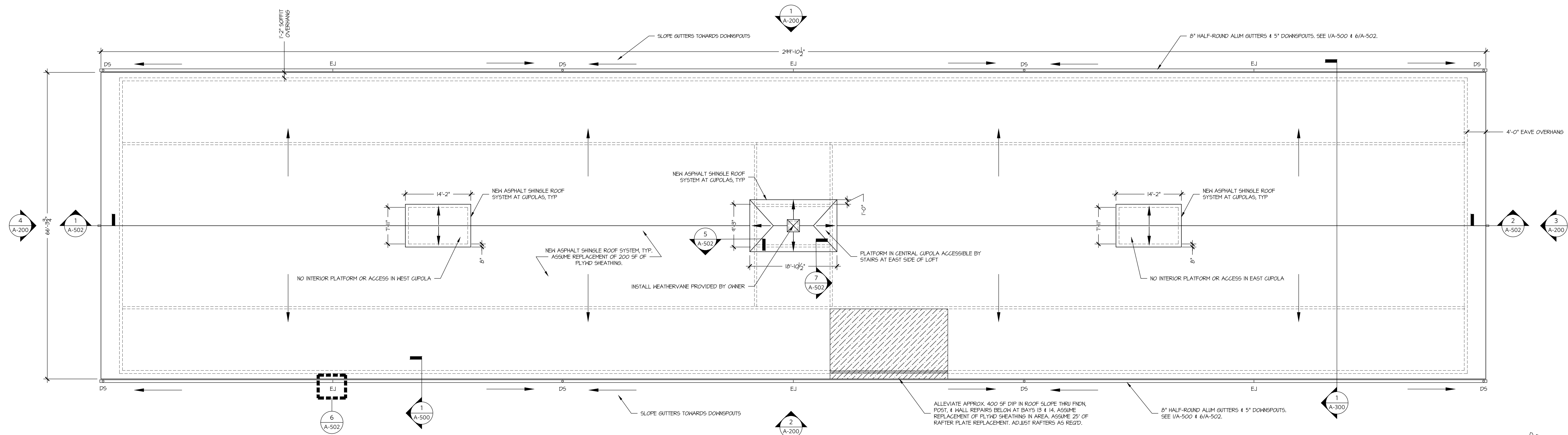
SCALE: 3/32" = 1'-0"  
 DRAWN BY: SS & SL  
 DATE: 7/7/23

A-100

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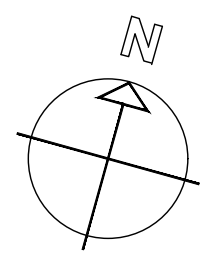
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A-100



1 ROOF PLAN  
A-101

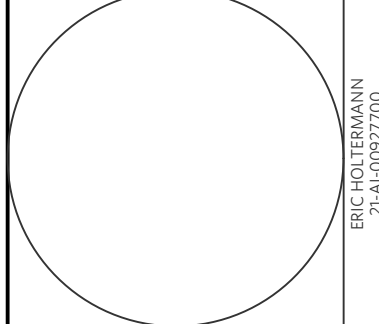
SCALE: 3/32" = 1'-0"



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A-101

REHABILITATION OF THE  
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SCALE: 3/32" = 1'-0"  
DRAWN BY: SS&SL  
DATE: 7/7/23

A-101

**ROOF PLAN**

- NOTES -

GENERAL:

1. SEE ENLARGED PLANS ON A-102 THRU A-105 FOR ADD'L DIMENSIONS.

EXTERIOR:

1. PREP & PAINT ALL NEW & EXIST WOODWORK PER SPECIFICATIONS.

INTERIOR:

1. PAINT ONLY NEW WORK, PAINT PER SPECIFICATIONS. EXISTING INTERIOR BUILDING COMPONENTS TO REMAIN ARE TO BE CLEANED ONLY. PATCHING & RESTORED ELEMENTS SHALL BE PAINTED OR FINISHED TO MATCH EXISTING.
2. CLEAN & REMOVE BIRD GUANO FROM ALL HARD SURFACES AT BOTH THE GROUND FLOOR & LOFT ACCORDING TO SPEC SECTION 028116 "BIRD EXCREMENT REMOVAL."
3. COMPLETE GENERAL CLEANING OF ENTIRE INTERIOR OF THE BUILDING ACCORDING TO SPEC SECTION 01300 "EXECUTION."

- ALTERNATES -

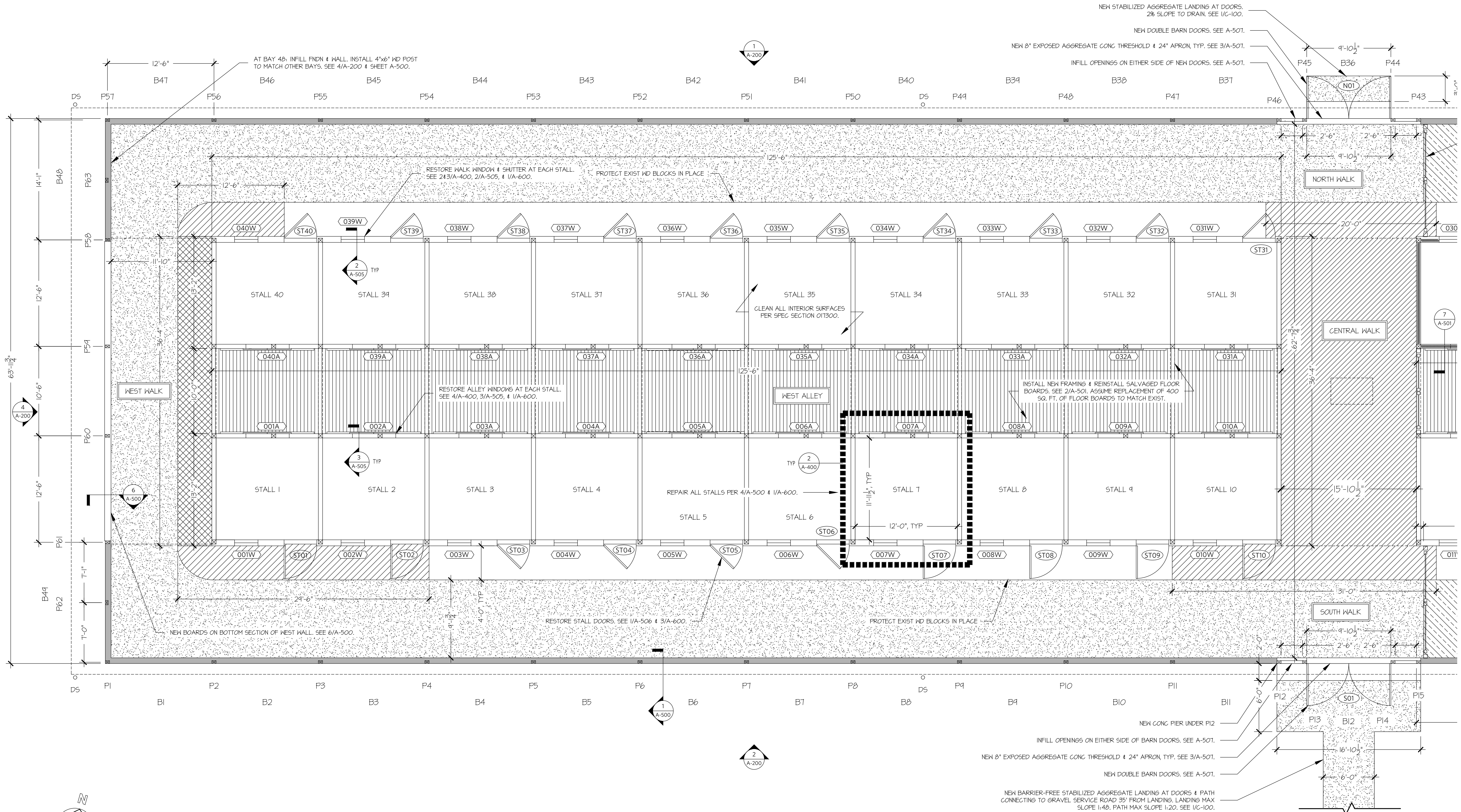
1. DEDUCT ALL INTERIOR FINISH WORK AT STALLS 11 - 18 & 20 - 24. THE STAIRS & INTERIOR FINISH WORK IN STALL 14 WILL REMAIN IN BASE BID. ELEC WORK & INTERIOR FINISH WORK AT STALL 30 WILL REMAIN IN BASE BID. WORK AT THE WINDOWS, SHUTTERS, & DOORS AT STALLS 11 - 30 WILL REMAIN IN BASE BID. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOC'D WITH THE REPAIR OF THE FLOOR, WALLS, TRIM, & CEILINGS AS INDICATED ON THE STALL REPAIR SCHEDULE AT 1/A-600.
2. DEDUCT ALL WORK AT STALL WINDOWS & SHUTTERS AT STALLS 11 - 18 & 20 - 24. REPAIRS TO WINDOWS & SHUTTERS AT STALLS 14 & 30 WILL REMAIN IN BASE BID. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOC'D WITH REPAIR OF THE WINDOWS & SHUTTERS AS INDICATED ON THE

STALL REPAIR SCHEDULE AT 1/A-600. THE DEDUCT INCLUDE THE WEST ALLEY WINDOWS.

3. DEDUCT ALL WORK TO INSTALL ROOF GUTTERS, DOWNSPOUTS, SPLASH PADS, & UNDERGROUND DRAINAGE AS INDICATED ON SHEETS C-100, A-101, A-500, & A-502, & SPECIFIED IN SECTION 076200 SHEET METAL FLASHING & TRIM & 334000 STORM & DRAINAGE UTILITIES. SUBSTITUTE ADDITION OF 3/4 INCH FEA GRAVEL AT BUILDING PERIMETER, TWO FEET FROM FOUNDATION WALL AS INDICATED ON SHEET C-100. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOCIATED WITH THE INSTALLATION OF THE ROOF DRAINAGE SYSTEM.

- LEGEND -

- INSTALL STABILIZED AGGREGATE PAVING AT WEST WALK. EXCAVATE DIRT FLOOR AS REQ'D. STABILIZE EXIST WOOD BLOCK FLOORING IN PLACE. SEE 5/A-501.
  - INSTALL GRAVEL AT EAST SIDE. SEE 3/A-501. STABILIZE EXIST WOOD BLOCK FLOORING IN PLACE. SEE 5/A-501.
  - INSTALL NEW 4"x6" MD BEAM FLOORING TO MATCH EXIST AT WEST WALK. SEE 3/A-502.
  - RESET MD BLOCKS IN THIS AREA. REPLACE DAMAGED OR MISSING MD BLOCKS TO MATCH EXIST. SEE 6/A-501.
  - INSTALL NEW EXTERIOR WALL & MD POSTS. SEE 1/A-400.
- P = POST  
B = BAY



1 FIRST FLOOR WEST PLAN

SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"  
DRAWN BY: SLS, SL  
DATE: 7/7/23

821 ALEXANDER ROAD - SUITE 115  
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609.452.0770 | HMR-ARCHITECTS.COM

HMR ARCHITECTS  
KELTER & GILGILLO ENGINEERS  
196 PRINCETON-HIGHTSTOWN ROAD  
PRINCETON JUNCTION, NJ 08550  
609.779.8338 | KANDIG-PC.COM

E.P.I.C. MANAGEMENT, INC.  
18611TH ST. BGCATWAY, NJ 08854  
732.752.6100 | EPICBUILDS.COM

REHABILITATION OF THE  
**FORTY STALL BARN**  
THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

**A-102**

DE: HOLLERMAN  
214.692.7700

**FIRST FLOOR WEST PLAN**

ISSUED FOR BID - 7/7/2023

A-102

- NOTES -

- ALTERNATES -

- LEGEND -

GENERAL:

1. SEE ENLARGED PLANS ON A-102 THRU A-105 FOR ADD'L DIMENSIONS.

EXTERIOR:

1. PREP & PAINT ALL NEW & EXIST WOODWORK PER SPECIFICATIONS.

INTERIOR:

- PAINT ONLY NEW WORK. PAINT PER SPECIFICATIONS. EXISTING INTERIOR BUILDING COMPONENTS TO REMAIN ARE TO BE CLEANED ONLY. PATCHING & RESTORED ELEMENTS SHALL BE PAINTED OR FINISHED TO MATCH EXISTING.
- CLEAN & REMOVE BIRD GUANO FROM ALL HARD SURFACES AT BOTH THE GROUND FLOOR & LOFT ACCORDING TO SPEC SECTION 028116 "BIRD EXCREMENT REMOVAL."
- COMPLETE GENERAL CLEANING OF ENTIRE INTERIOR OF THE BUILDING ACCORDING TO SPEC SECTION 01300 "EXECUTION."

- DEDUCT ALL INTERIOR FINISH WORK AT STALLS 11 - 18 & 20 - 24. THE STAIRS & INTERIOR FINISH WORK IN STALL 19 WILL REMAIN IN BASE BID. ELEC WORK & INTERIOR FINISH WORK AT STALL 30 WILL REMAIN IN BASE BID. WORK AT THE WINDOWS, SHUTTERS, & DOORS AT STALLS 11 - 30 WILL REMAIN IN BASE BID. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOC'D WITH THE REPAIR OF THE FLOOR, WALLS, TRIM, & CEILING AS INDICATED ON THE STALL REPAIR SCHEDULE AT 1/A-600.
- DEDUCT ALL WORK AT STALL WINDOWS & SHUTTERS AT STALLS 11 - 18 & 20 - 24. REPAIRS TO WINDOWS & SHUTTERS AT STALLS 19 & 30 WILL REMAIN IN BASE BID. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOC'D WITH REPAIR OF THE WINDOWS & SHUTTERS AS INDICATED ON THE

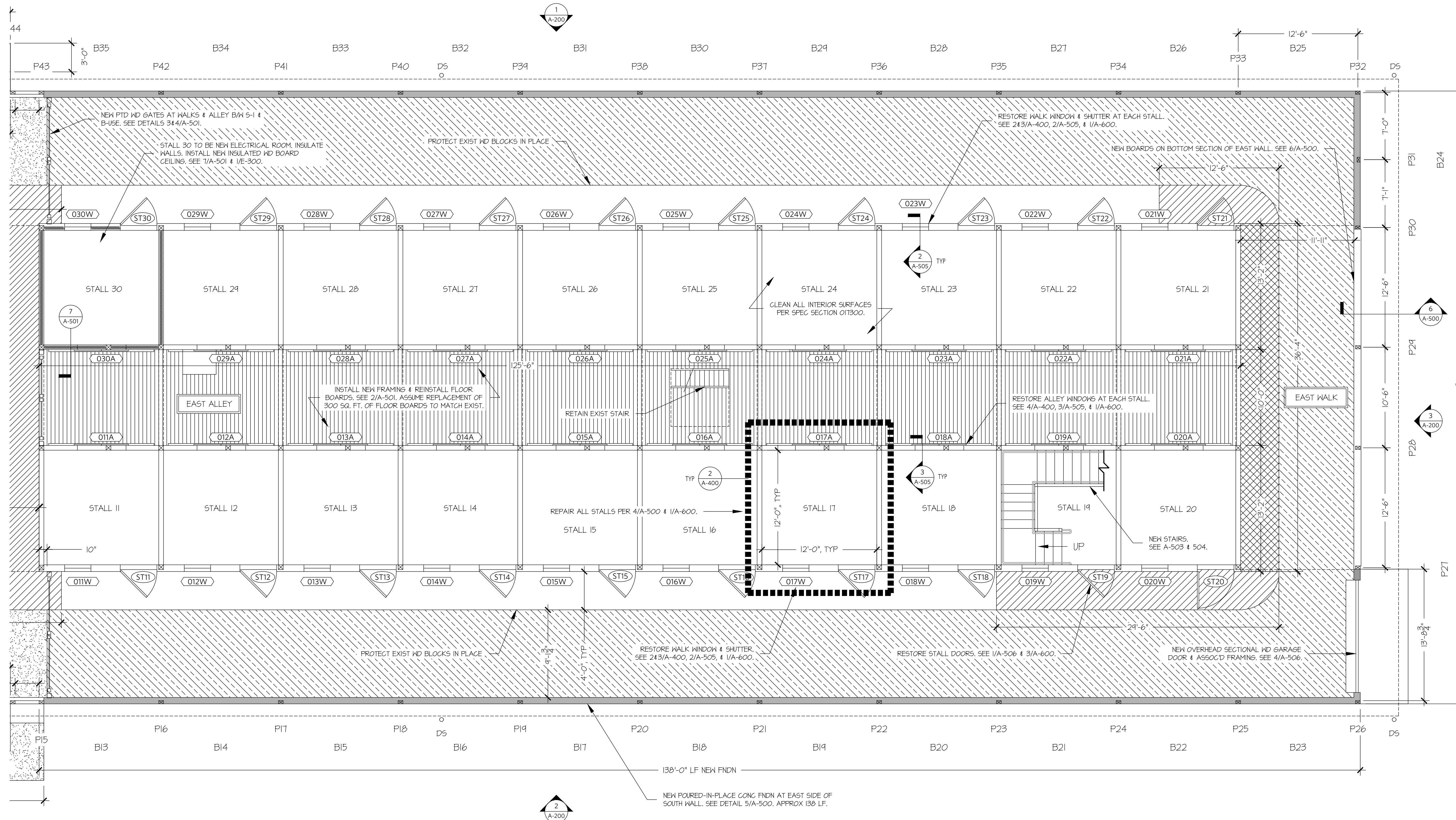
STALL REPAIR SCHEDULE AT 1/A-600. THE DEDUCT INCLUDE THE WEST ALLEY WINDOWS.

3. DEDUCT ALL WORK TO INSTALL ROOF GUTTERS, DOWNSPOUTS, SPLASH PADS, & UNDERGROUND DRAINAGE AS INDICATED ON SHEETS C-100, A-101, A-500, & A-502, & SPECIFIED IN SECTION 076200 SHEET METAL FLASHING & TRIM & 334000 STORM & DRAINAGE UTILITIES. SUBSTITUTE ADDITION OF 3/4 INCH PEA GRAVEL AT BUILDING PERIMETER, TWO FEET FROM FOUNDATION WALL AS INDICATED ON SHEET C-100. PROVIDE COSTS FOR ALL MATERIALS & LABOR ASSOCIATED WITH THE INSTALLATION OF THE ROOF DRAINAGE SYSTEM.

- INSTALL STABILIZED AGGREGATE PAVING AT WEST SIDE. EXCAVATE DIRT FLOOR AS REQ'D. STABILIZE EXIST WOOD BLOCK FLOORING IN PLACE. SEE 3/A-501.
- INSTALL GRAVEL AT EAST SIDE. SEE 3/A-501. STABILIZE EXIST WOOD BLOCK FLOORING IN PLACE. SEE 5/A-501.
- INSTALL NEW 4"x6" KD BEAM FLOORING TO MATCH EXIST AT WEST WALK. SEE 3/A-502.

- RESET KD BLOCKS IN THIS AREA. REPLACE DAMAGED OR MISSING KD BLOCKS TO MATCH EXIST. SEE 6/A-501.
- INSTALL NEW EXTERIOR WALL & KD POSTS. SEE 1/A-400.

P = POST  
B = BAY



1 FIRST FLOOR EAST PLAN

SCALE: 3/16" = 1'-0"

ISSUED FOR BID - 7/7/2023

REHABILITATION OF THE  
**FORTY STALL BARN**  
THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

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609-452-0707 | HMR-ARCHITECTS.COM

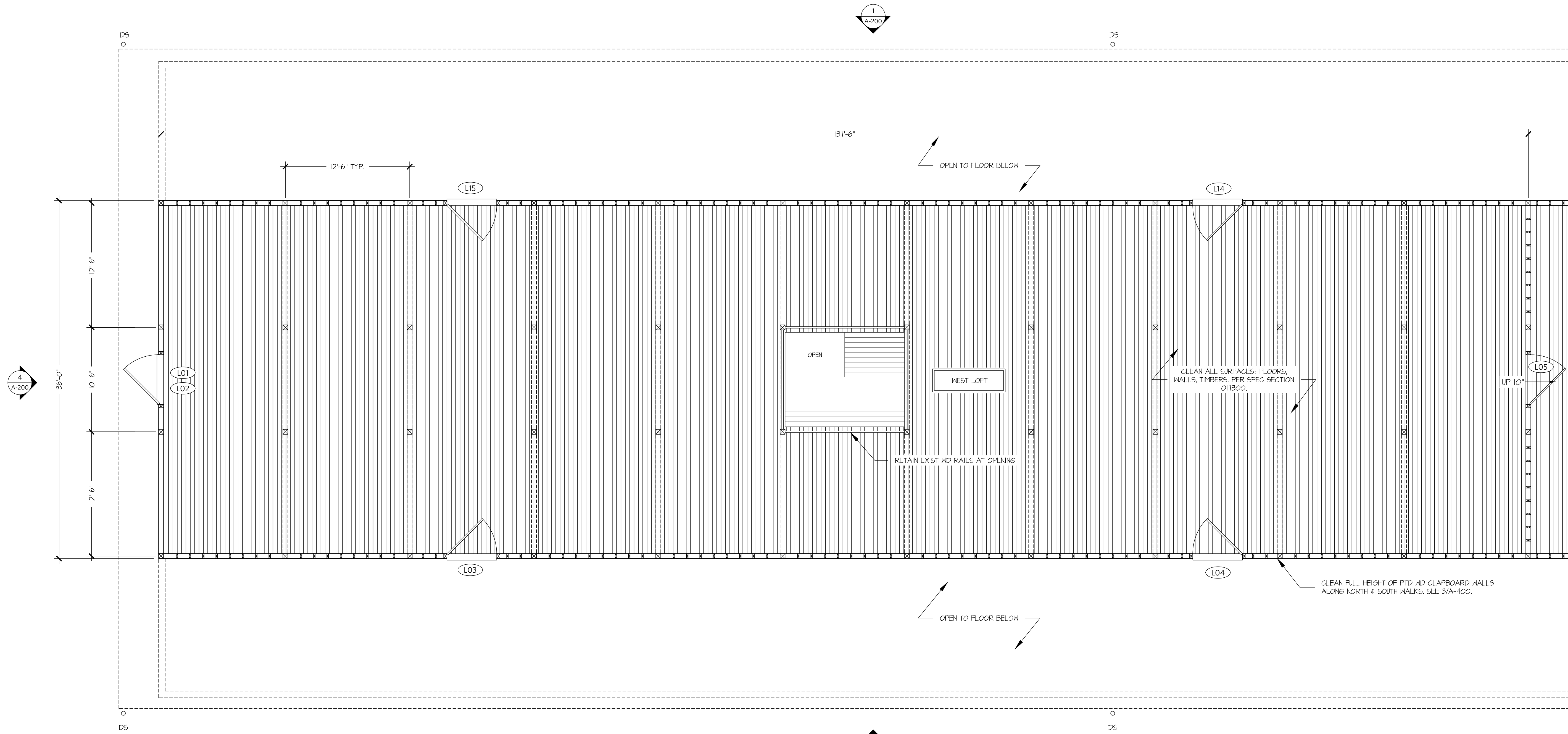
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DRAWN BY: SS.SL  
DATE: 7/7/23

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13611TH ST. BIRGATAWAY, NJ 08854  
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A-103

A-103





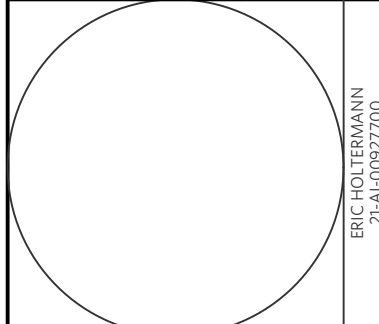
1 LOFT WEST PLAN  
A-104

SCALE: 3/16" = 1'-0"

ISSUED FOR BID - 7/7/2023

A-104

REHABILITATION OF THE  
**FORTY STALL BARN**  
THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738



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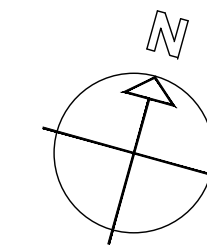
KELTER & GILLIGO ENGINEERS  
196 PRINCETON-HIGHTSTOWN ROAD  
PRINCETON JUNCTION, NJ 08550  
609.797.8338 | KANDG-PE.COM

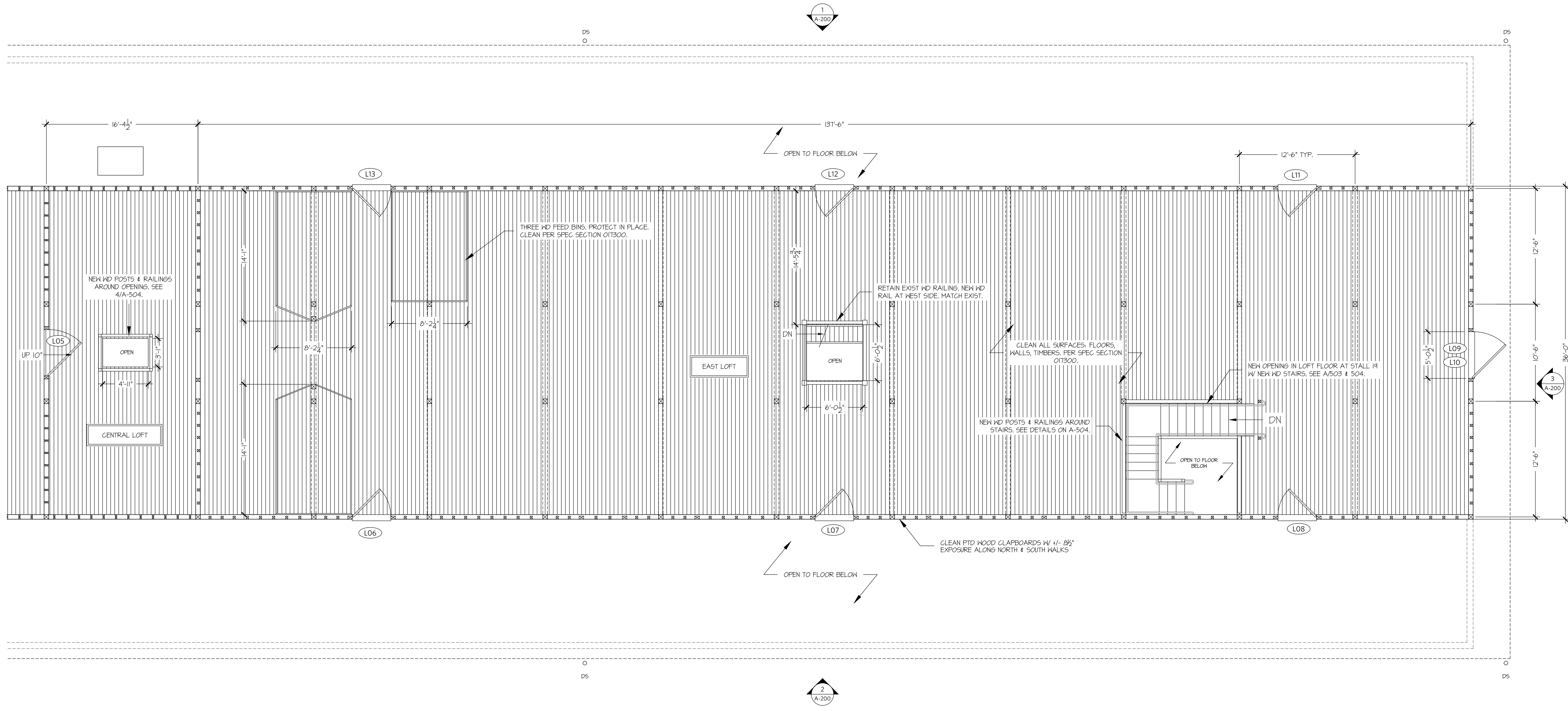
EPIC MANAGEMENT, INC  
136 11TH ST. BRICATWAY, NJ 08854  
732.752.6100 | EPICBUILDS.COM

SCALE: 3/16" = 1'-0"  
DRAWN BY: SS&SL  
DATE: 7/7/23

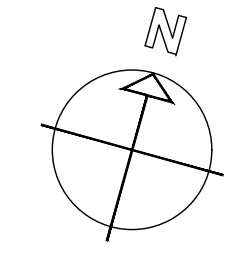
A-104

LOFT WEST PLAN





1 LOFT EAST PLAN  
 SCALE: 3/16" = 1'-0"

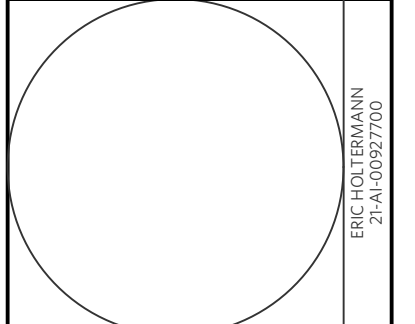


SCALE: 3/16" = 1'-0"  
 DRAWN BY: SS & SL  
 DATE: 7/7/23

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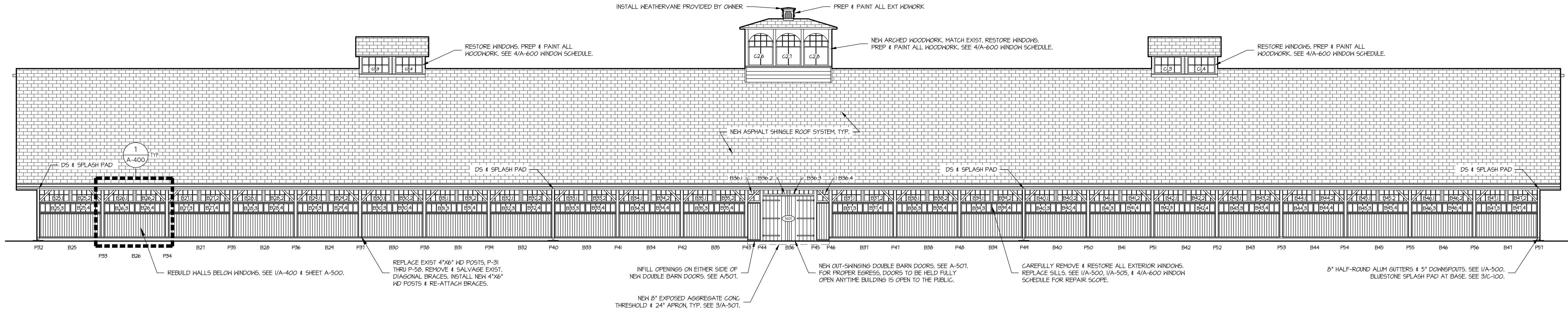
REHABILITATION OF THE  
**FORTY STALL BARN**  
 THOMPSON PARK  
 805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

ISSUED FOR BID - 7/7/2023

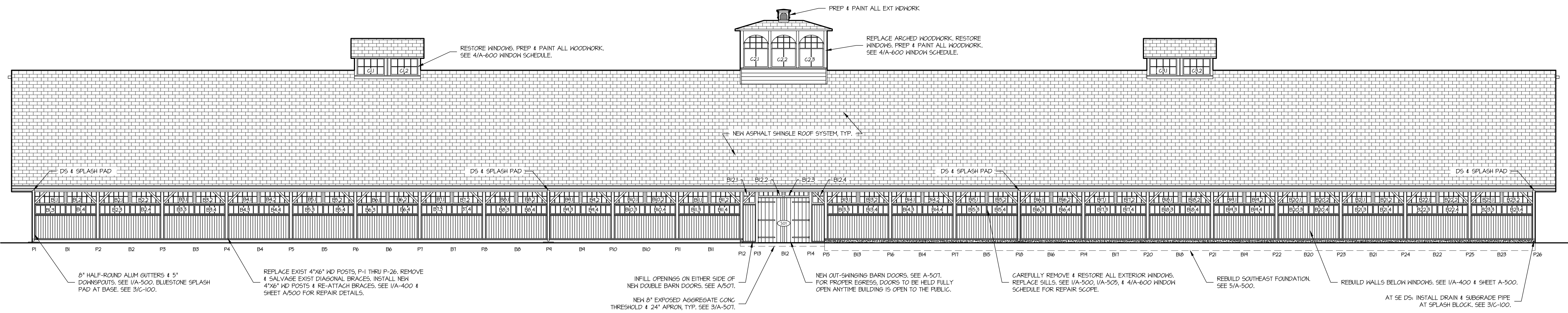
A-105

**LOFT EAST PLAN**

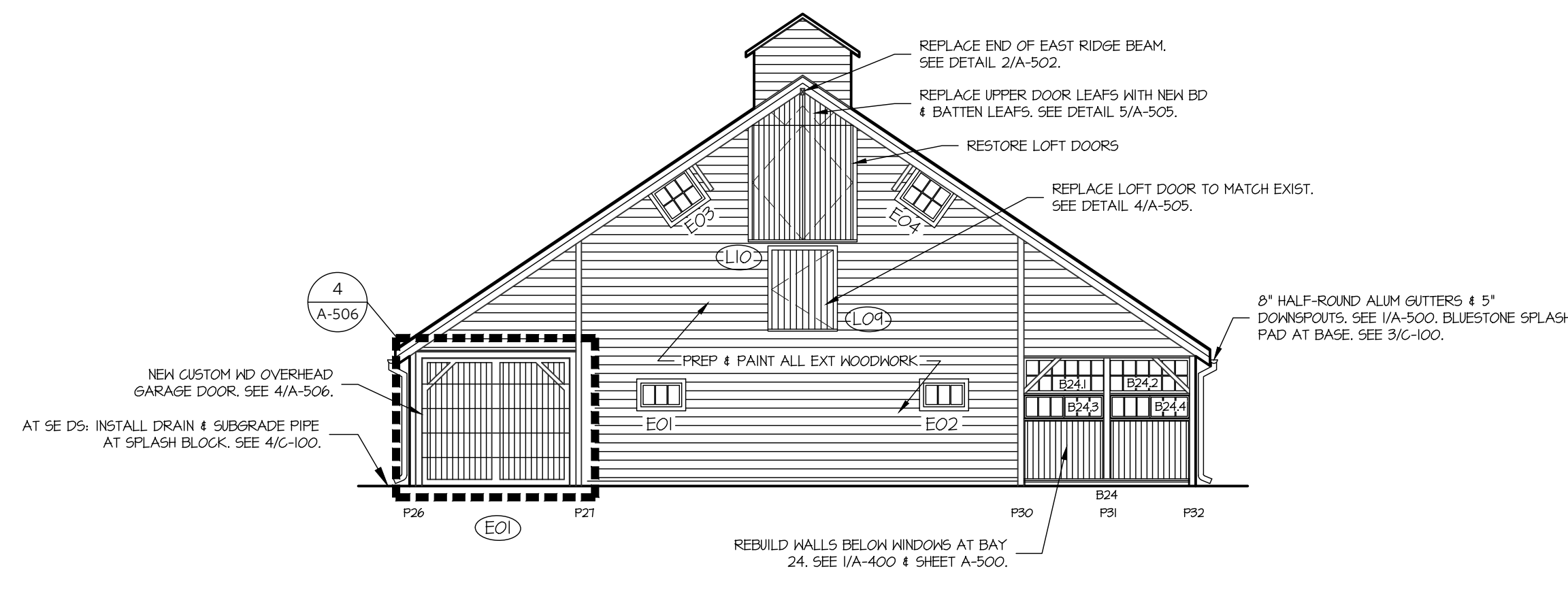
A-105



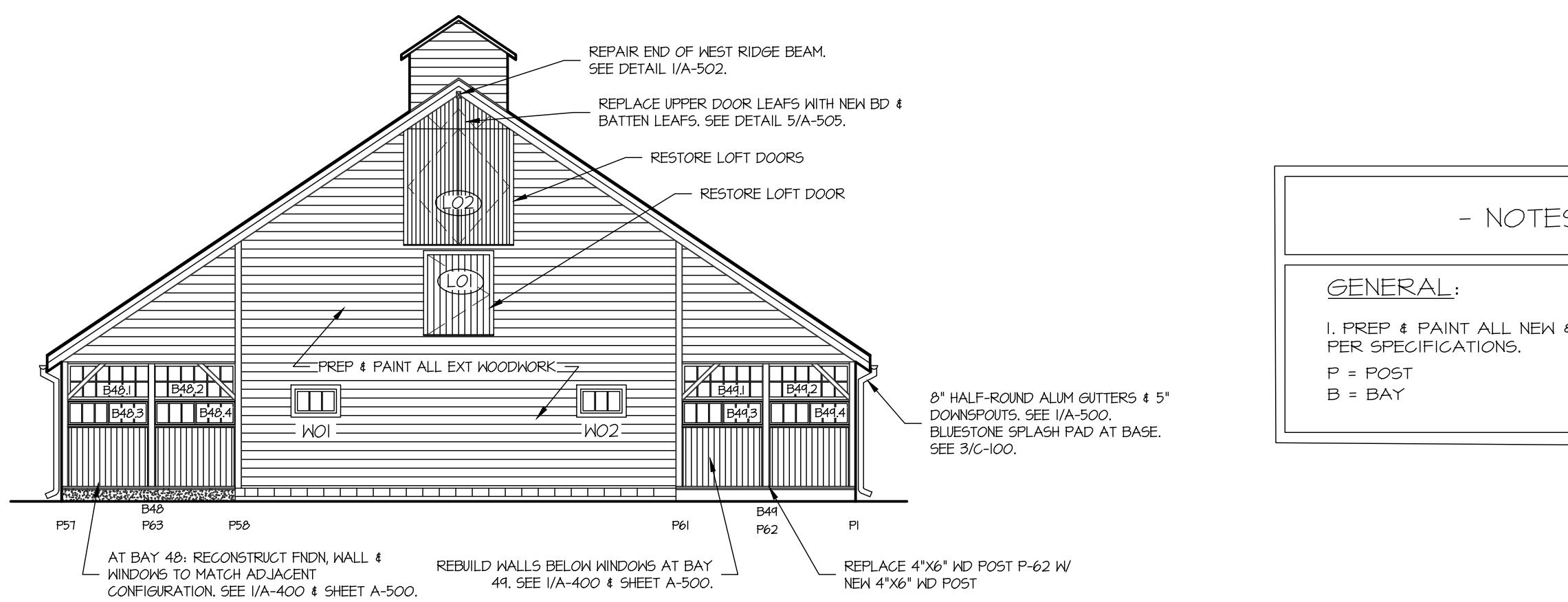
1 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION  
SCALE: 3/32" = 1'-0"



4 WEST ELEVATION  
SCALE: 3/32" = 1'-0"

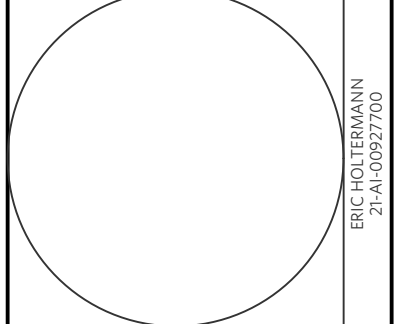
- NOTES -

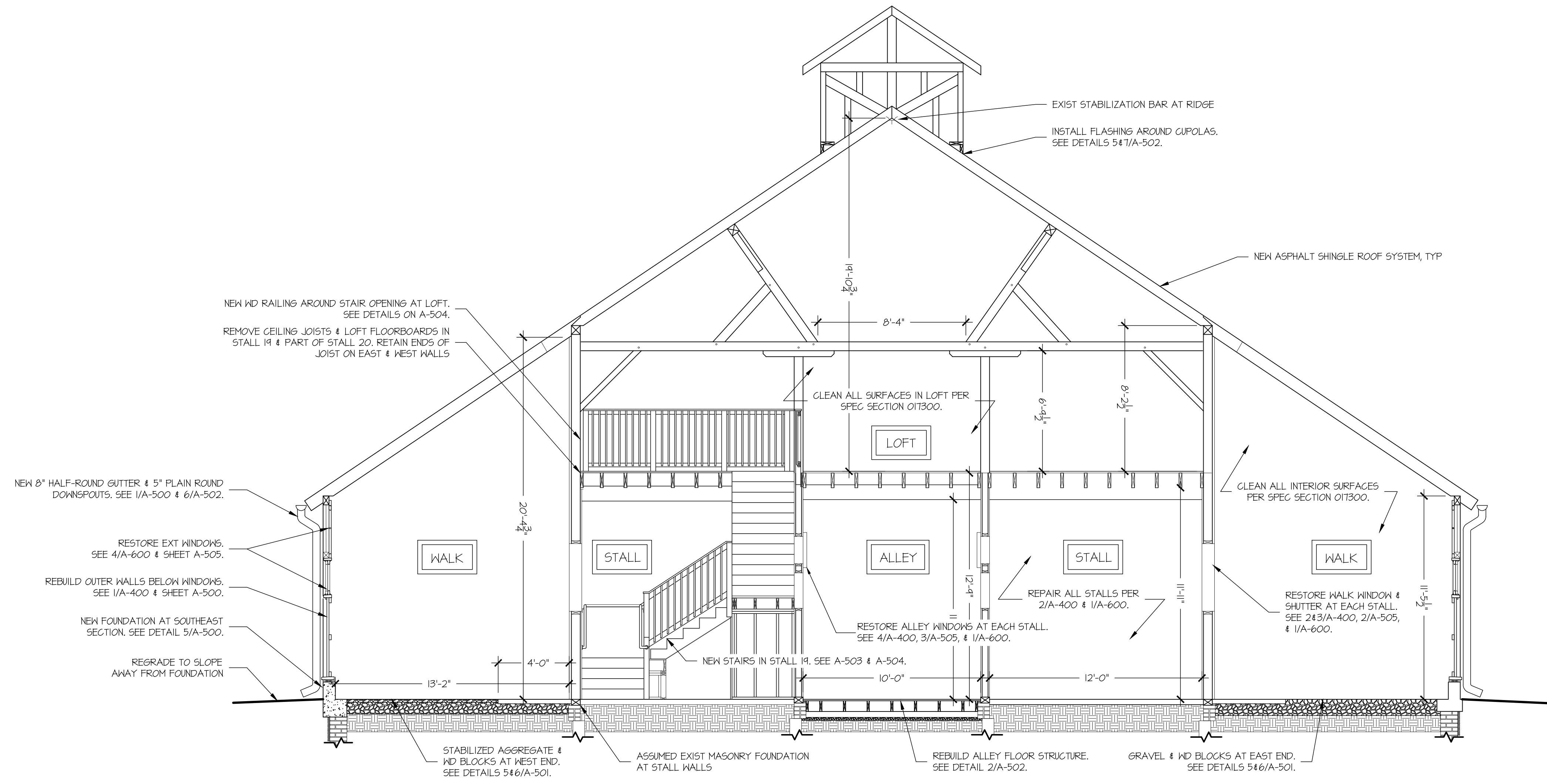
GENERAL:

I, PREP & PAINT ALL NEW & EXIST WOODWORK PER SPECIFICATIONS.

P = POST

B = BAY





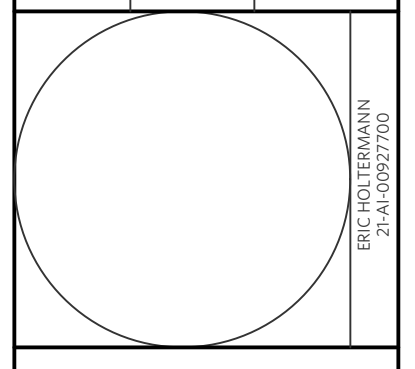
1 TYPICAL BARN SECTION  
SCALE: 1/4" = 1'-0"

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SCALE: AS NOTED  
 DRAWN BY: SS & SL  
 DATE: 7/7/23  
**A-300**

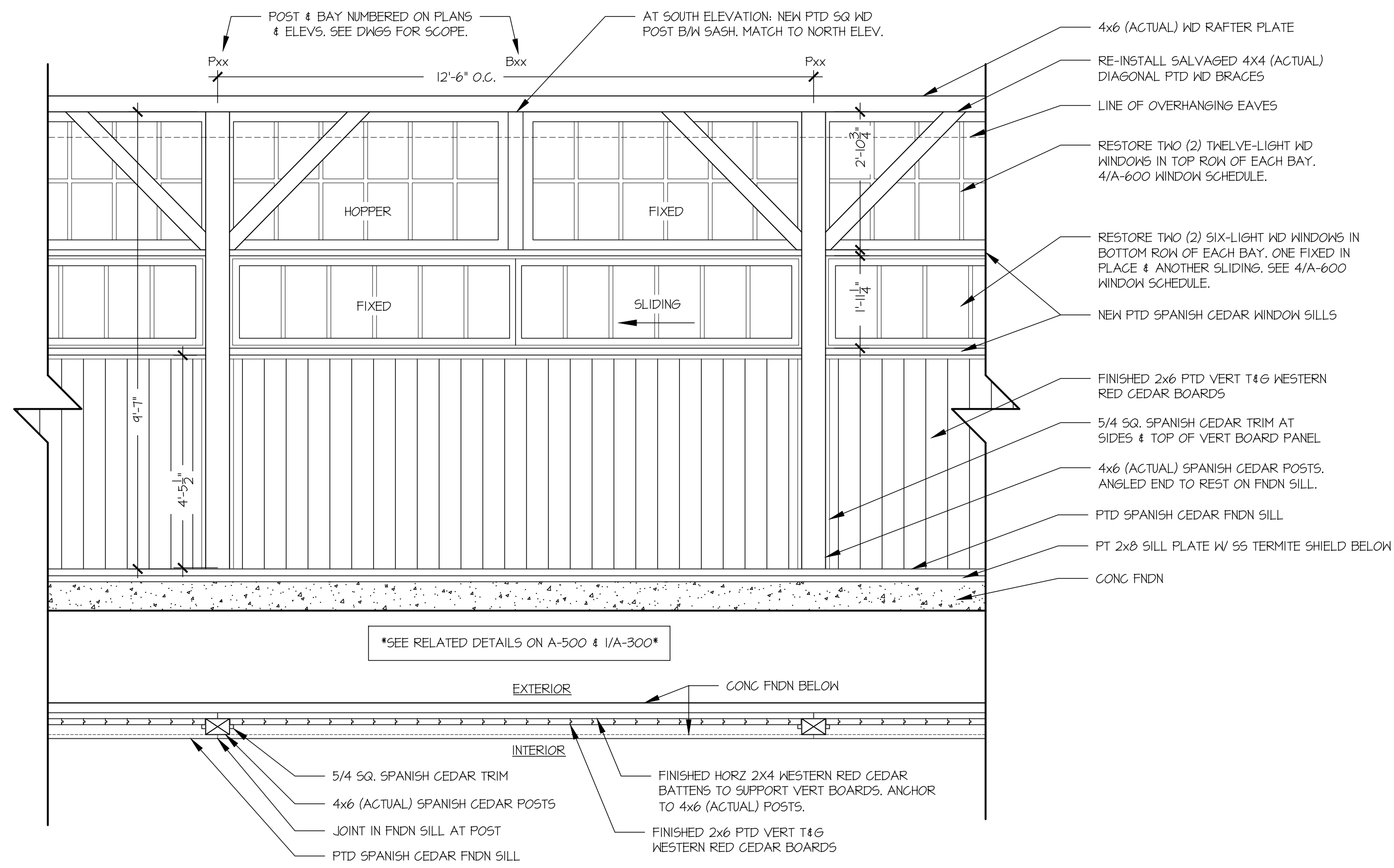


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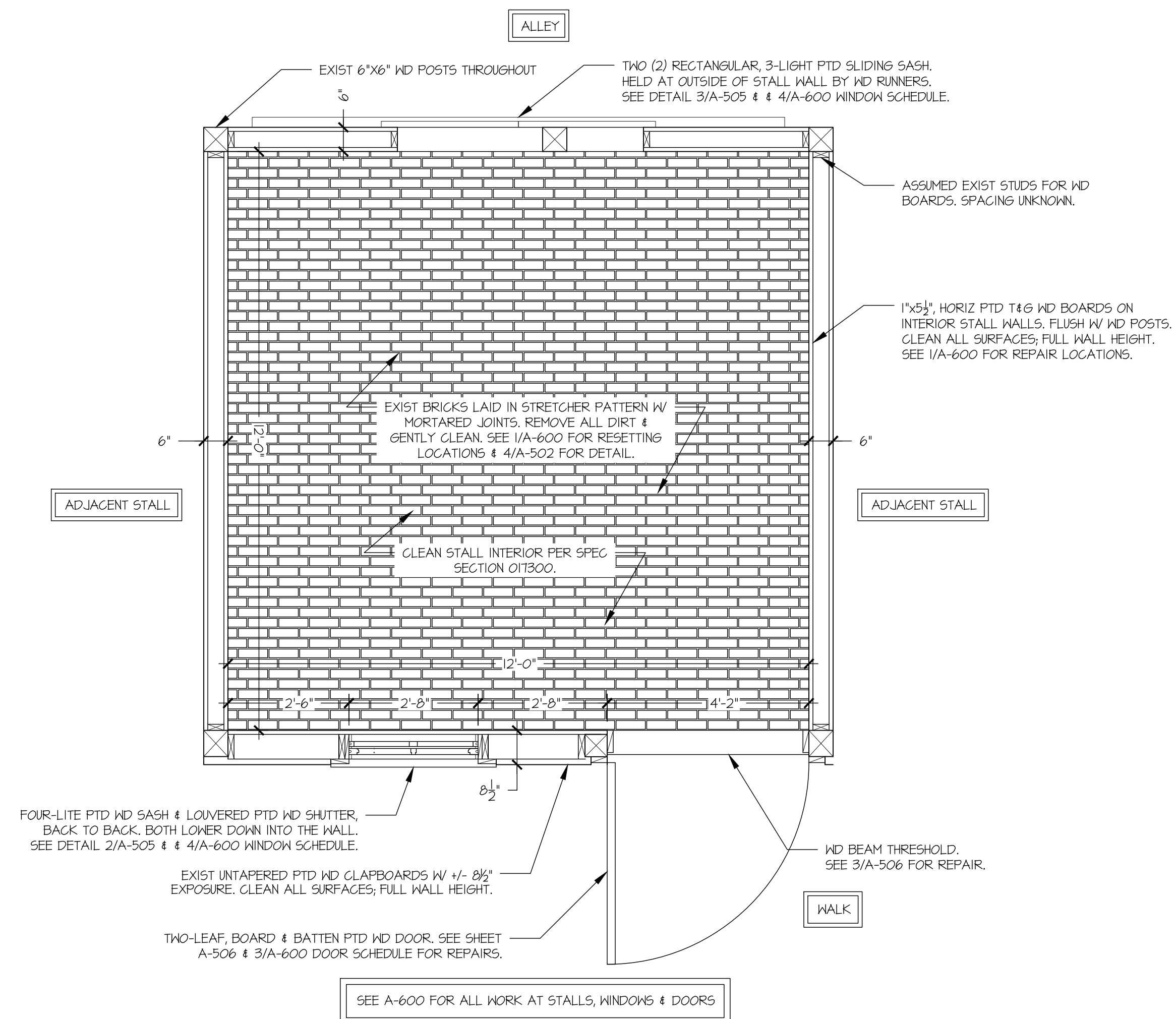
**REHABILITATION OF THE FORTY STALL BARN**  
 THOMPSON PARK  
 805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

**BARN SECTIONS**

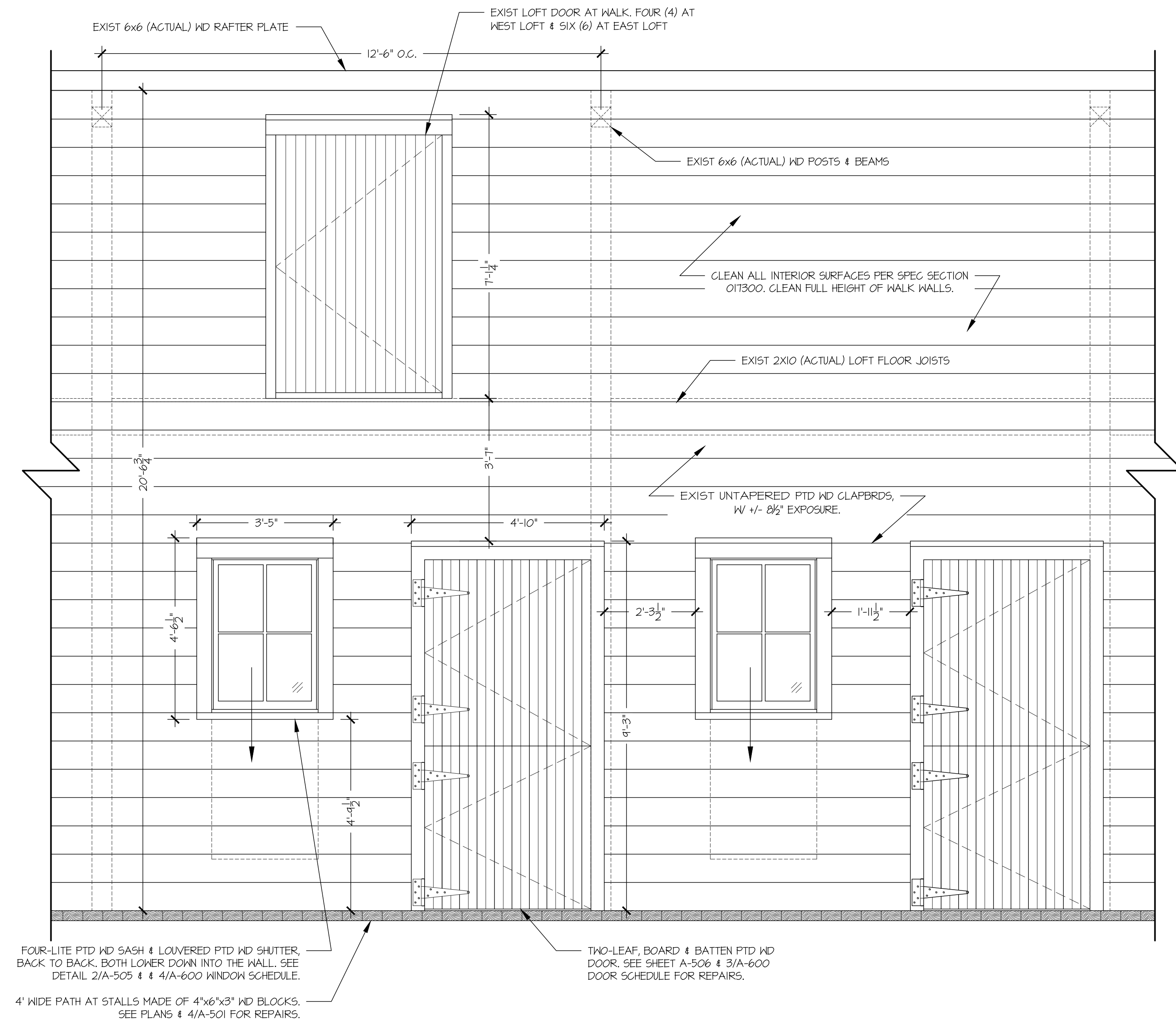
ISSUED FOR BID - 7/7/2023  
**A-300**



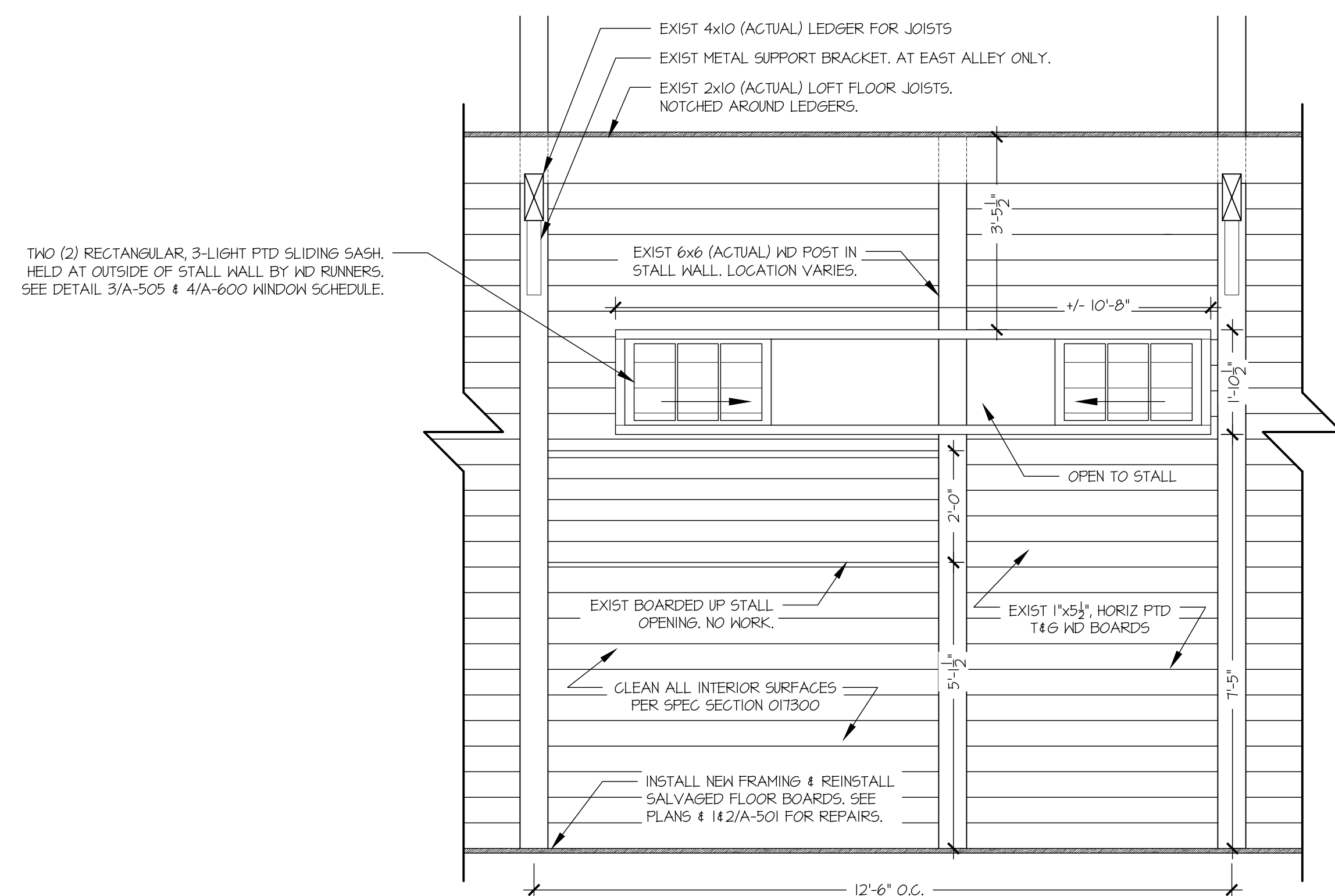
1 TYPICAL EXTERIOR BAY  
SCALE: 1/2" = 1'-0"



2 TYPICAL STALL PLAN  
SCALE: 1/2" = 1'-0"



3 TYP STALL ELEV AT WALK  
SCALE: 1/2" = 1'-0"



4 TYP STALL ELEV AT ALLEY  
SCALE: 1/2" = 1'-0"

ISSUED FOR BID - 7/7/2023

SCALE: AS NOTED  
DRAWN BY: SS & SL  
DATE: 7/7/23

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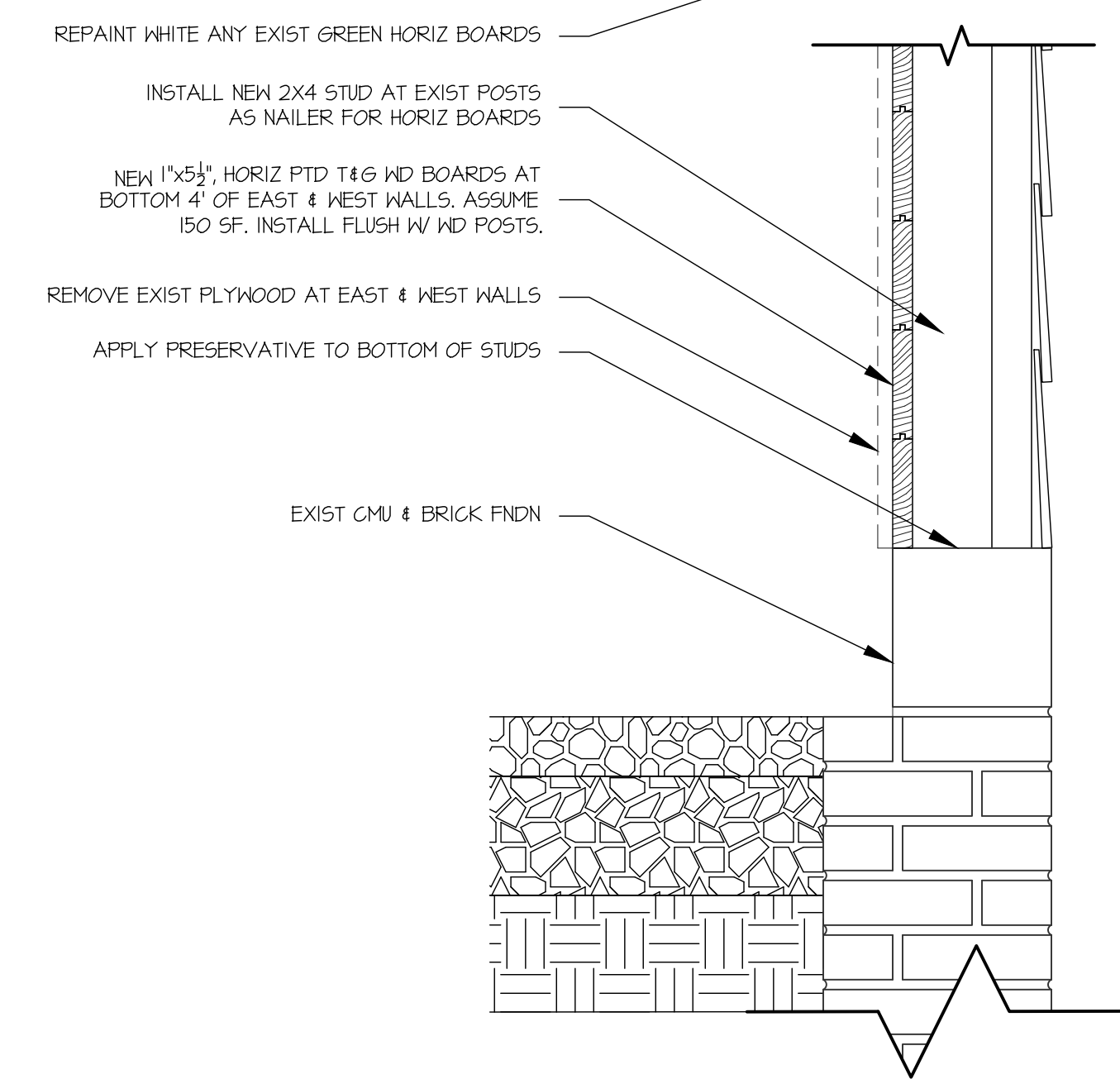
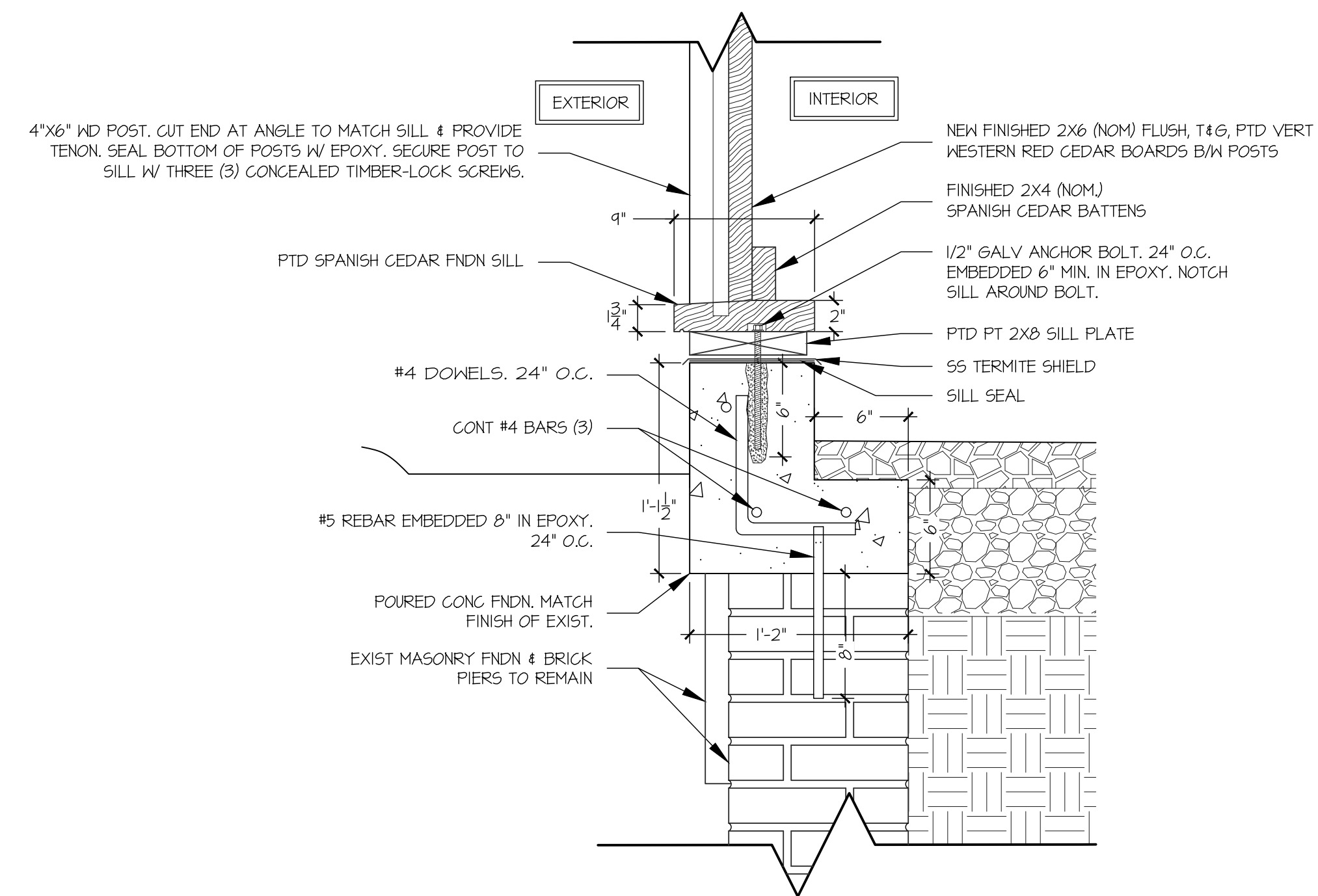
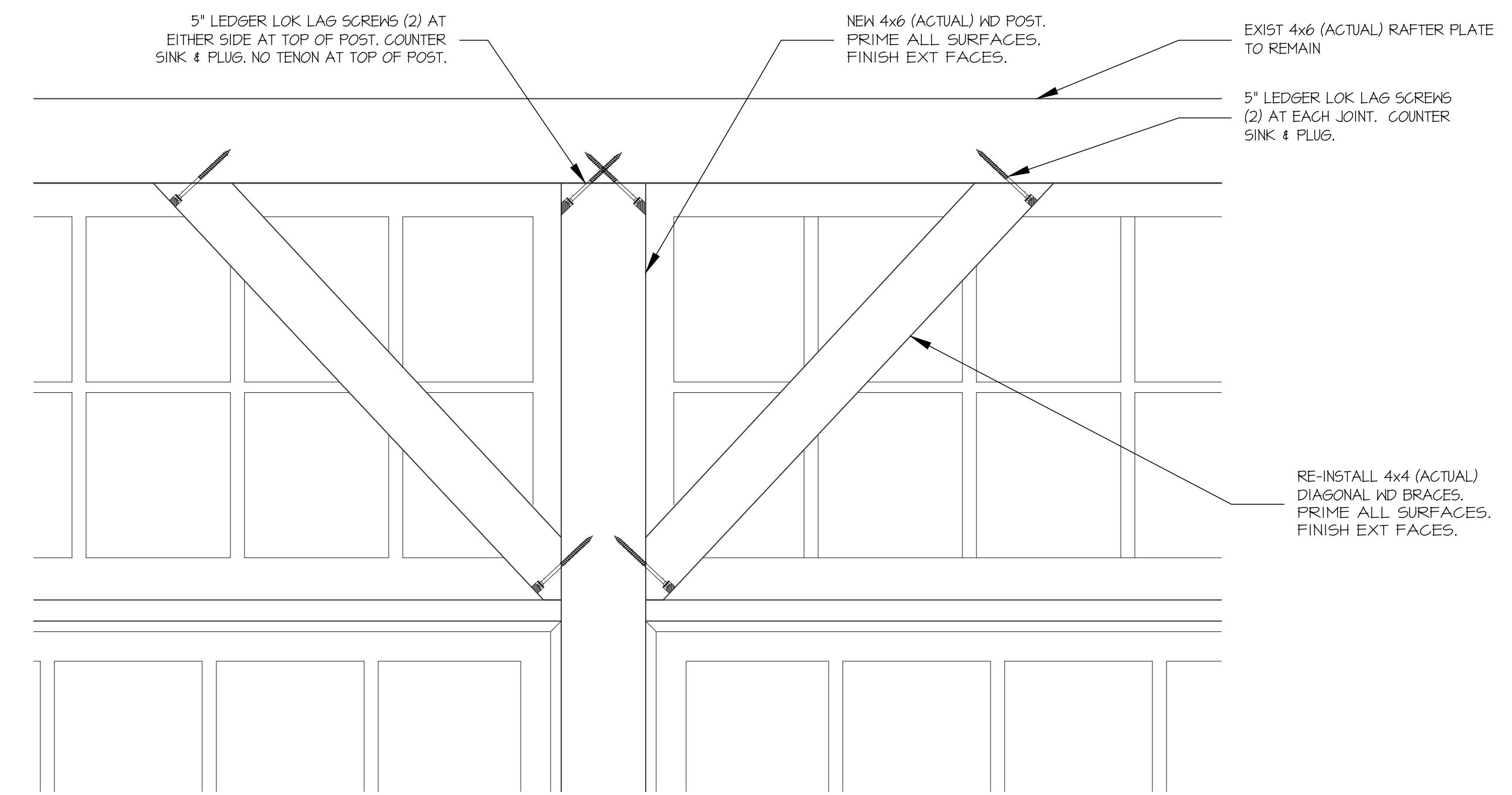
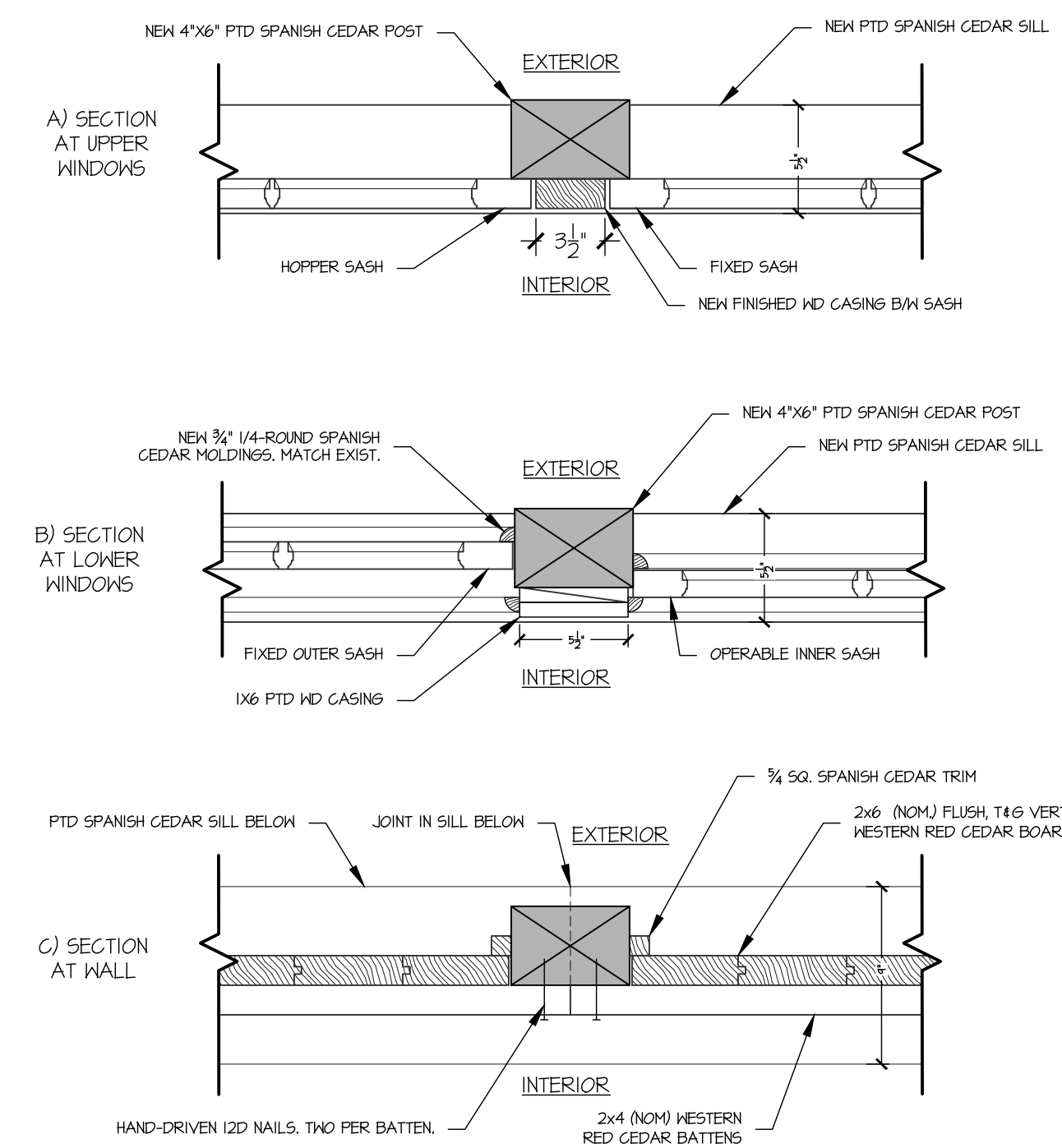
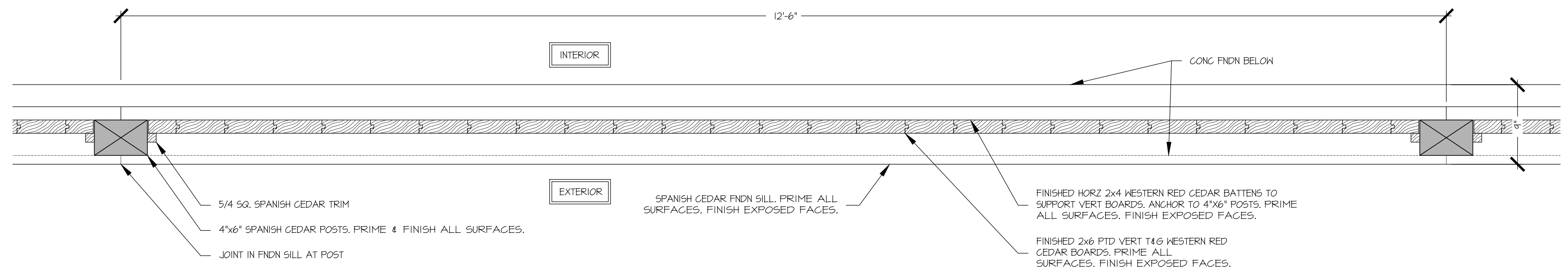
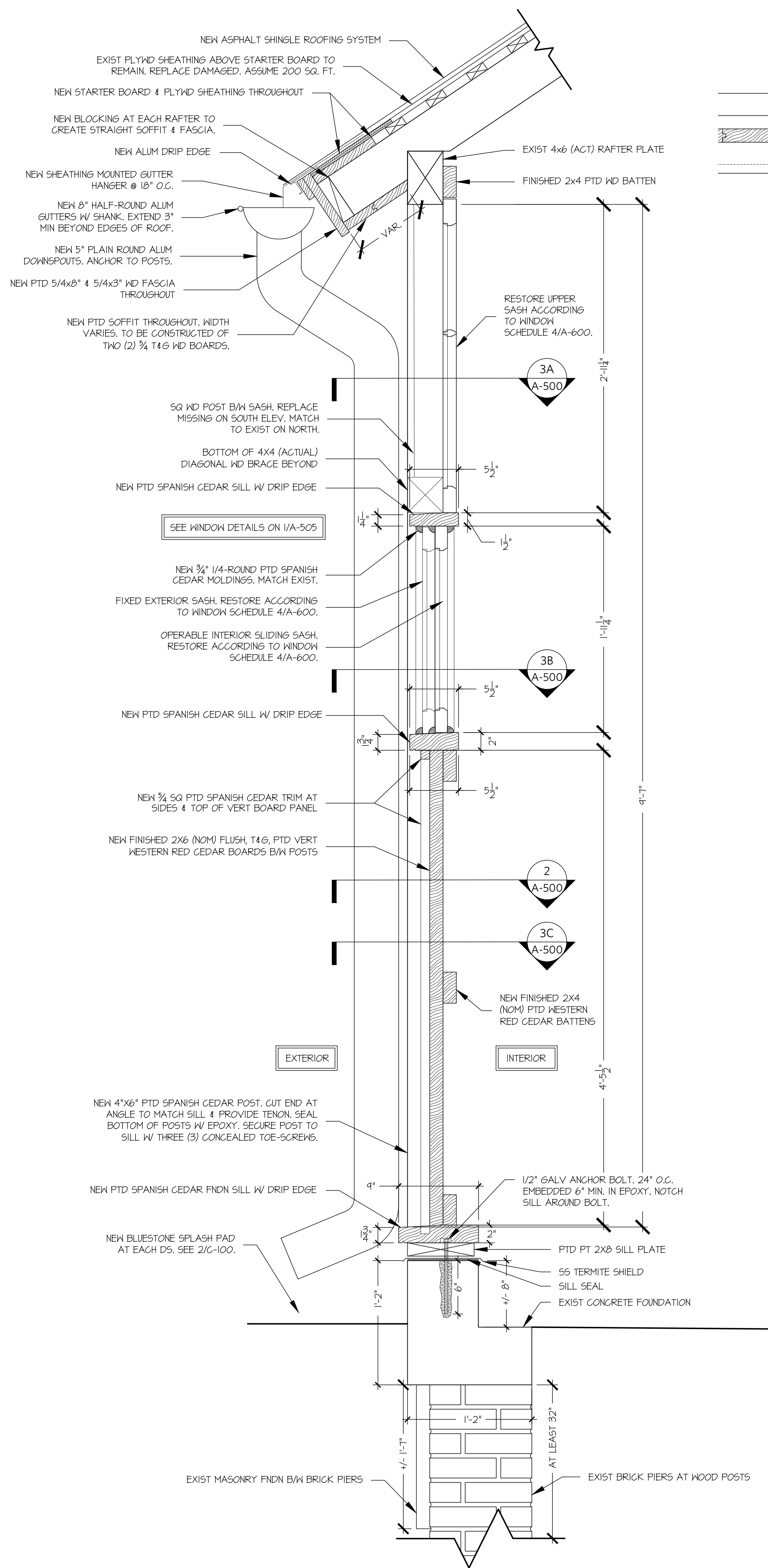
ELC INC. M.A. MANAGEMENT INC.  
196 PRINCETON-HIGHTSTOWN ROAD  
PRINCETON JUNCTION, NJ 08550  
609.797.8338 | RANDOLPH-PC.COM

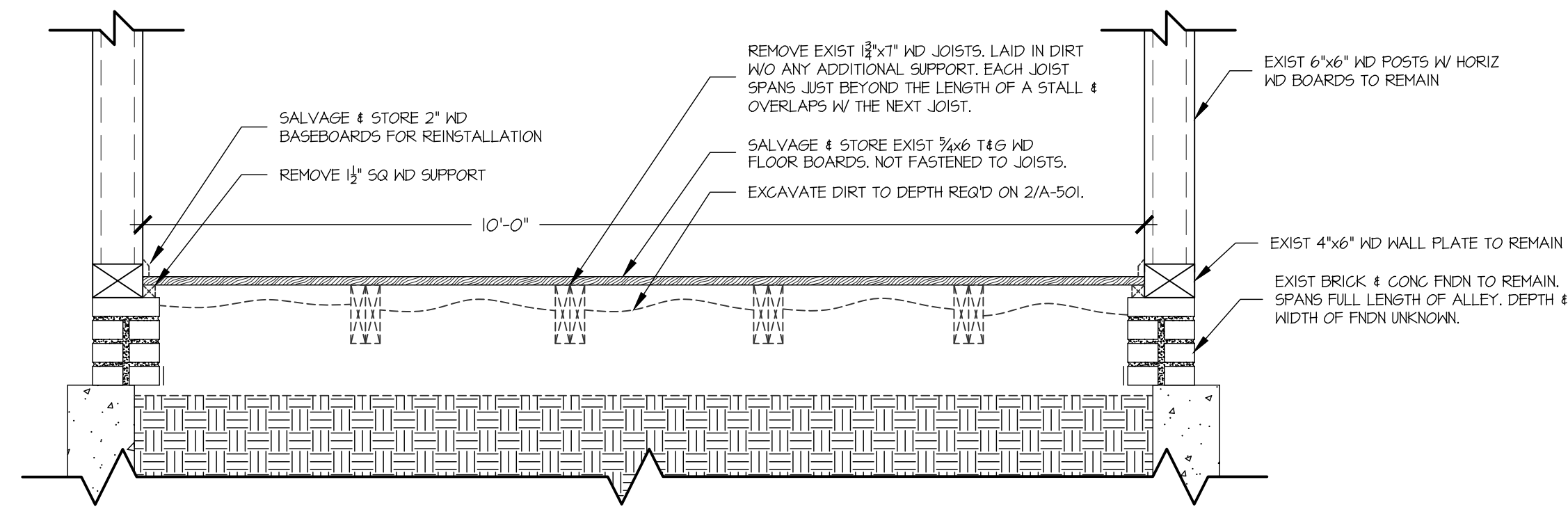
A-400

DETAILED ELEVATIONS & PLANS

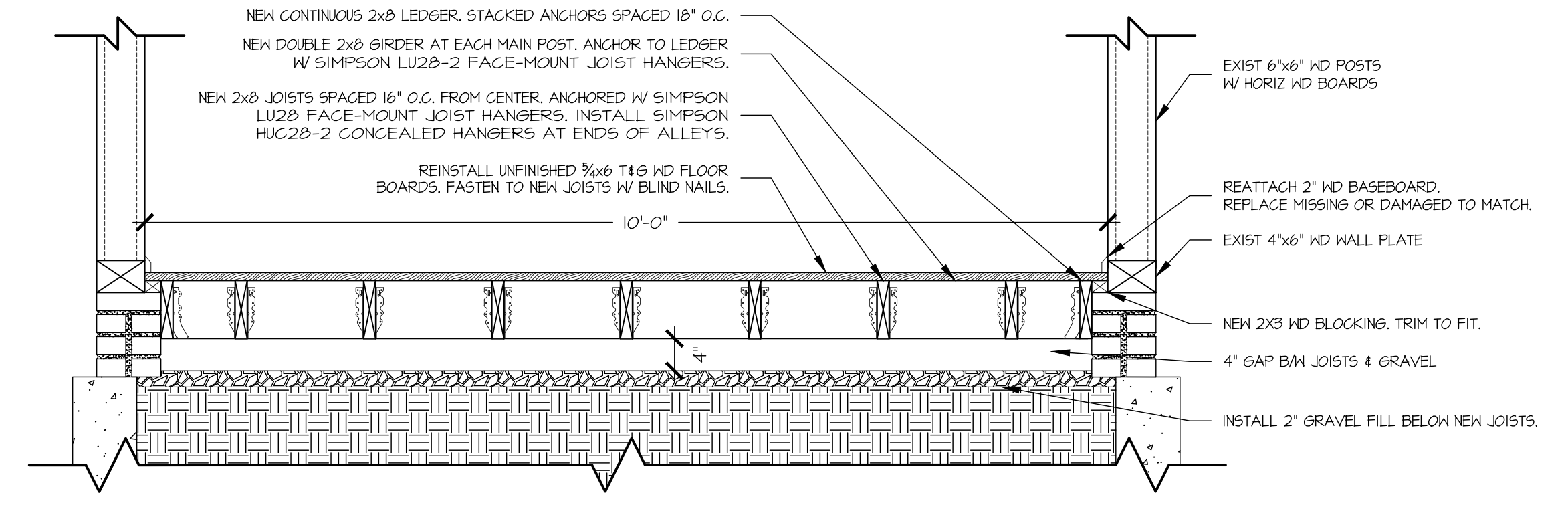
REHABILITATION OF THE  
**FORTY STALL BARN**  
THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

A-400

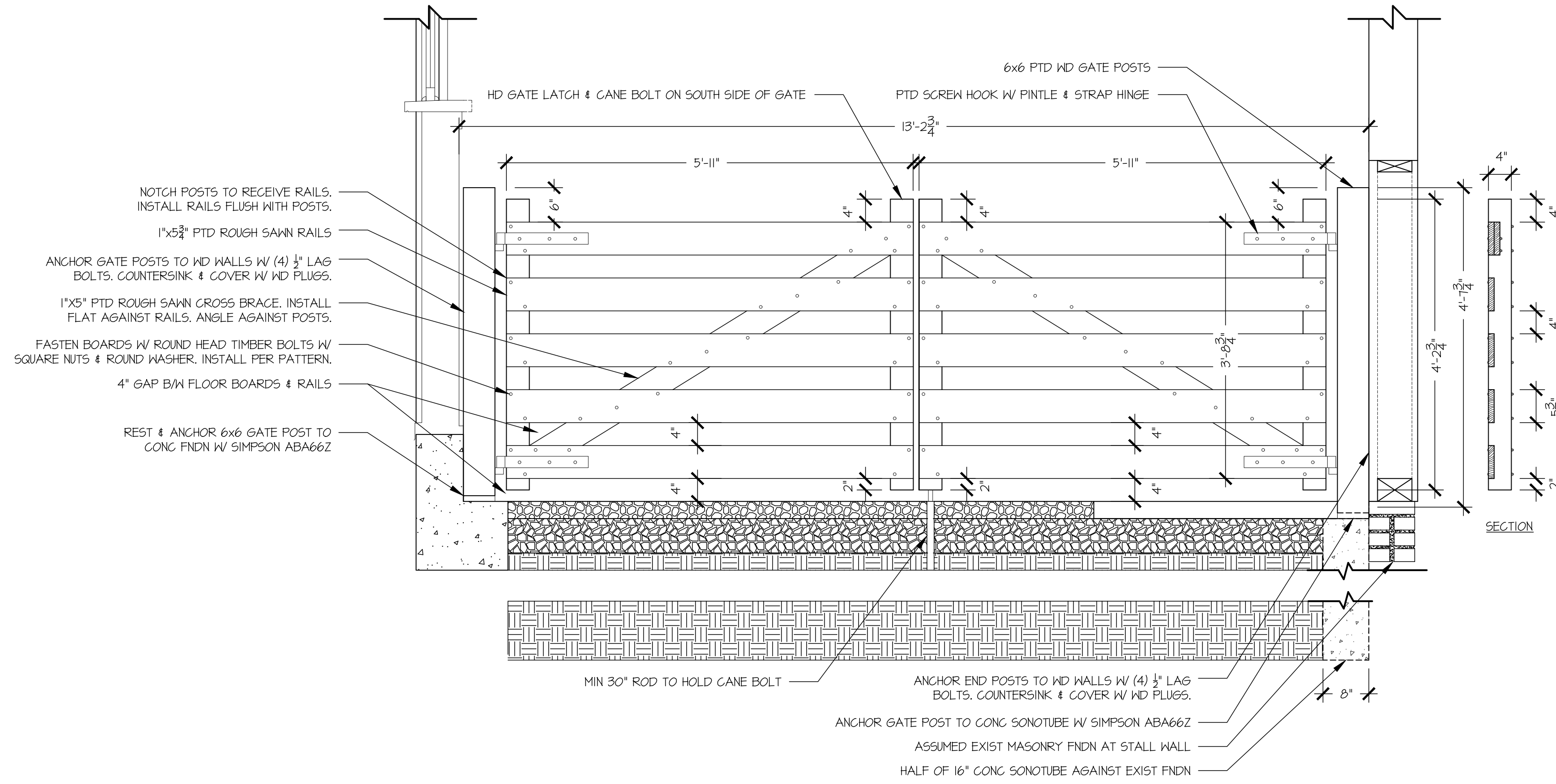




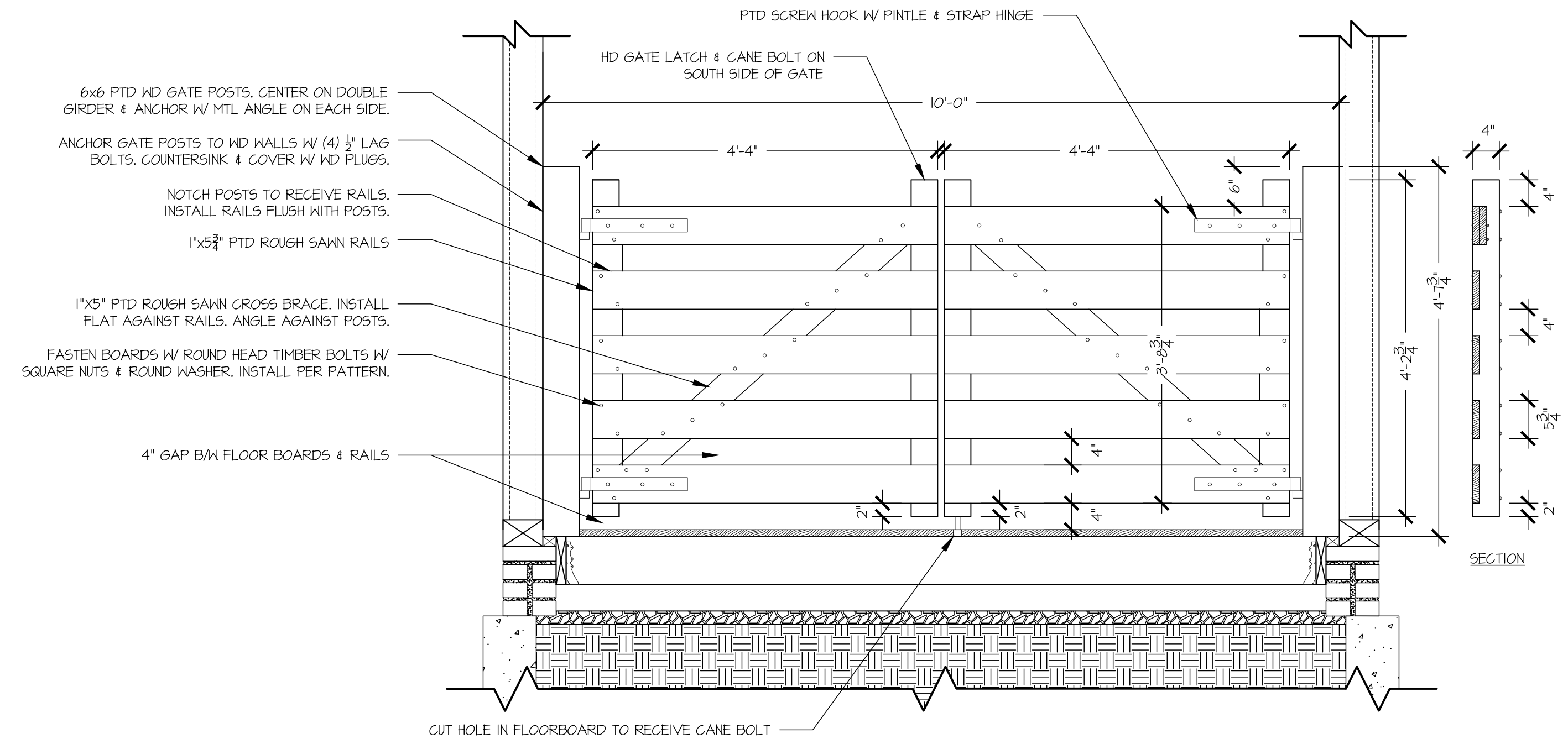
1 EXIST ALLEY FLOOR STRUCTURE  
SCALE: 3/4" = 1'-0"



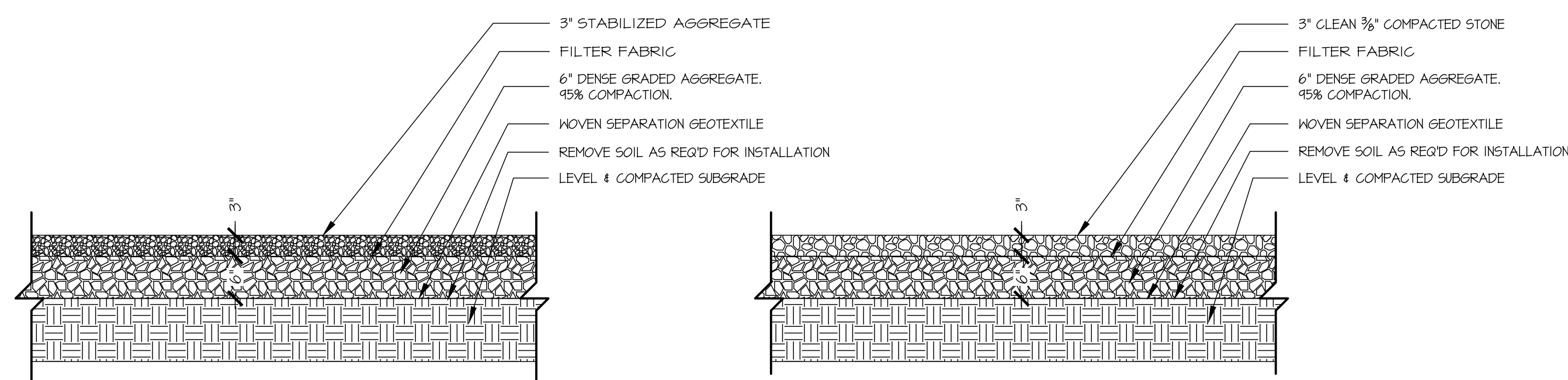
2 NEW ALLEY FLOOR STRUCTURE  
SCALE: 3/4" = 1'-0"



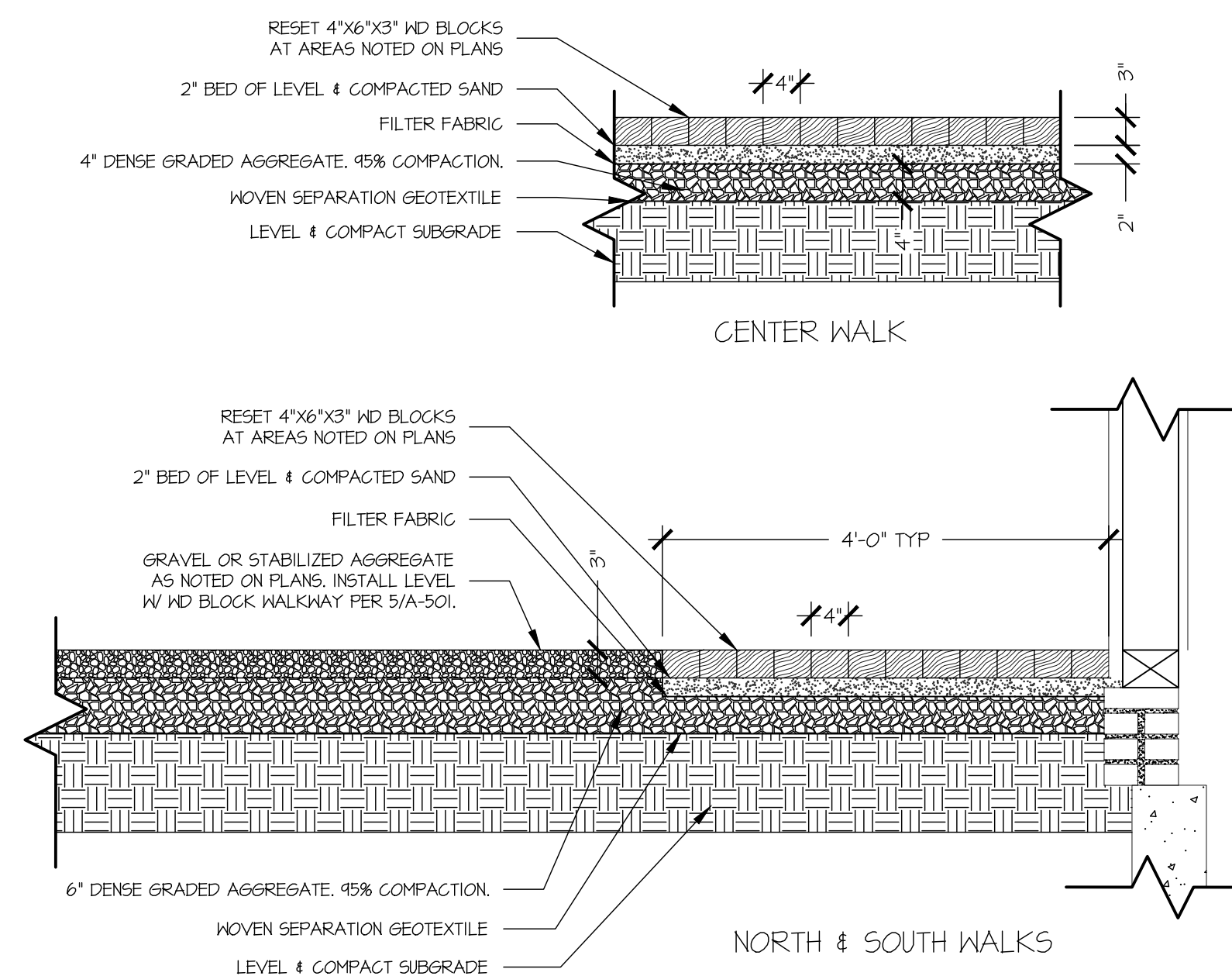
3 SEPERATION GATES AT WALKS  
SCALE: 3/4" = 1'-0"



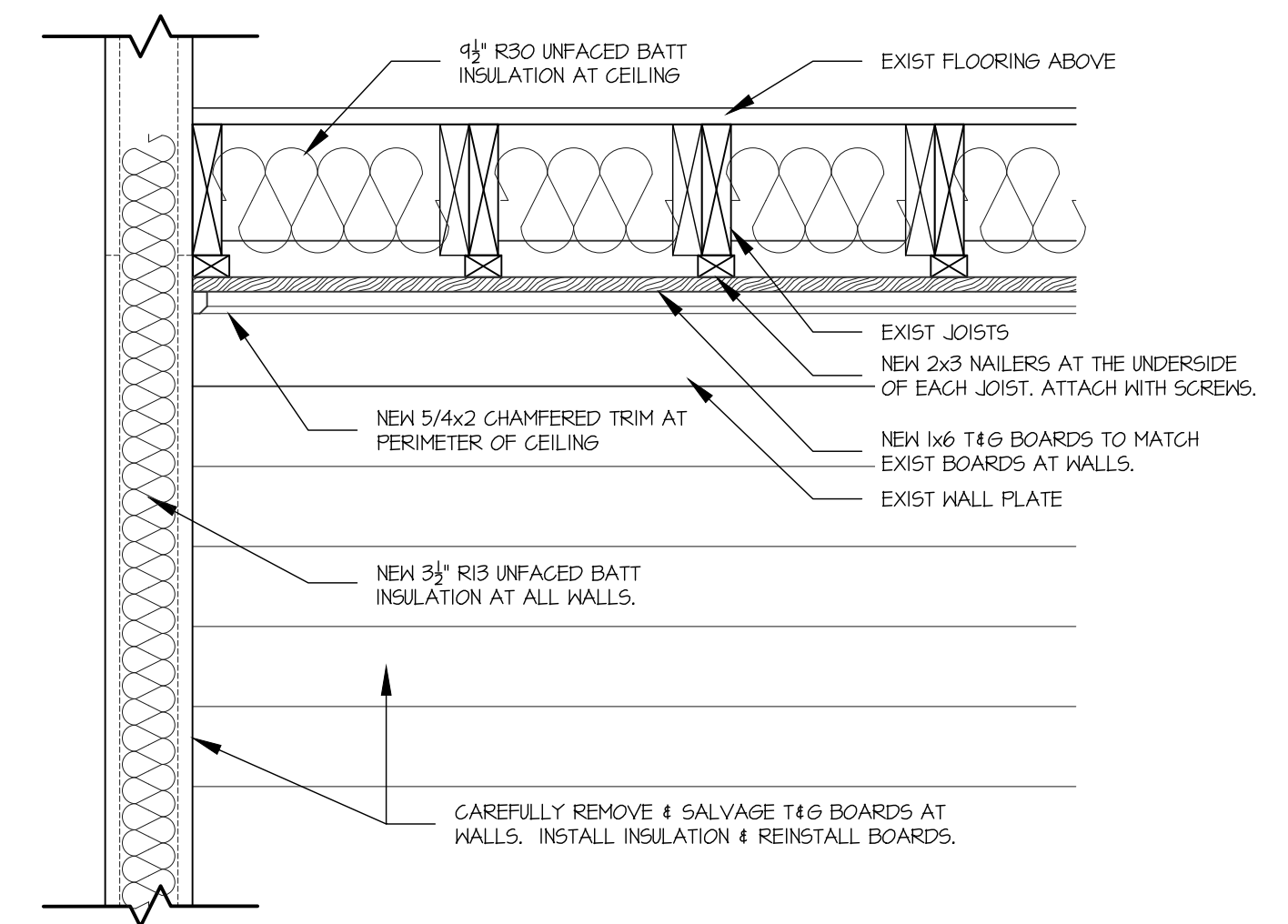
4 SEPERATION GATES AT EAST ALLEY  
SCALE: 3/4" = 1'-0"



5 NEW WALKWAY MATERIALS  
SCALE: 3/4" = 1'-0"



6 WOOD BLOCK RESETTING  
SCALE: 3/4" = 1'-0"



7 INSULATION AT STALL 30  
SCALE: 1" = 1'-0"

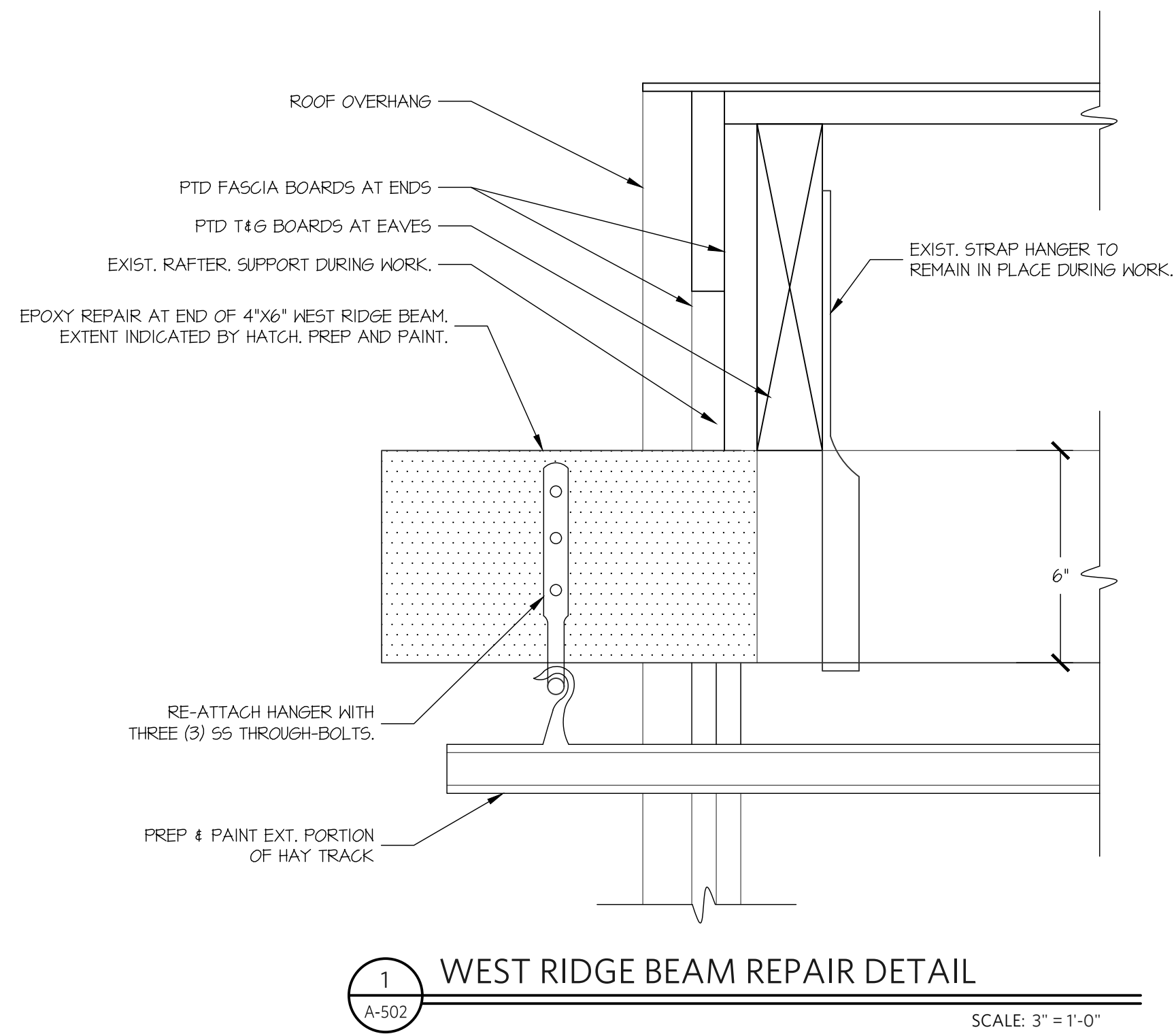
HMRARCHITECTS  
 821 ALEXANDER ROAD - SUITE 115  
 PRINCETON, NEW JERSEY 08540  
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 DATE: 7/7/23  
 SCALE: AS NOTED  
 DRAWN BY: SSS & SL  
 A-501

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 136 11TH ST. BRICATWAY, NJ 08854  
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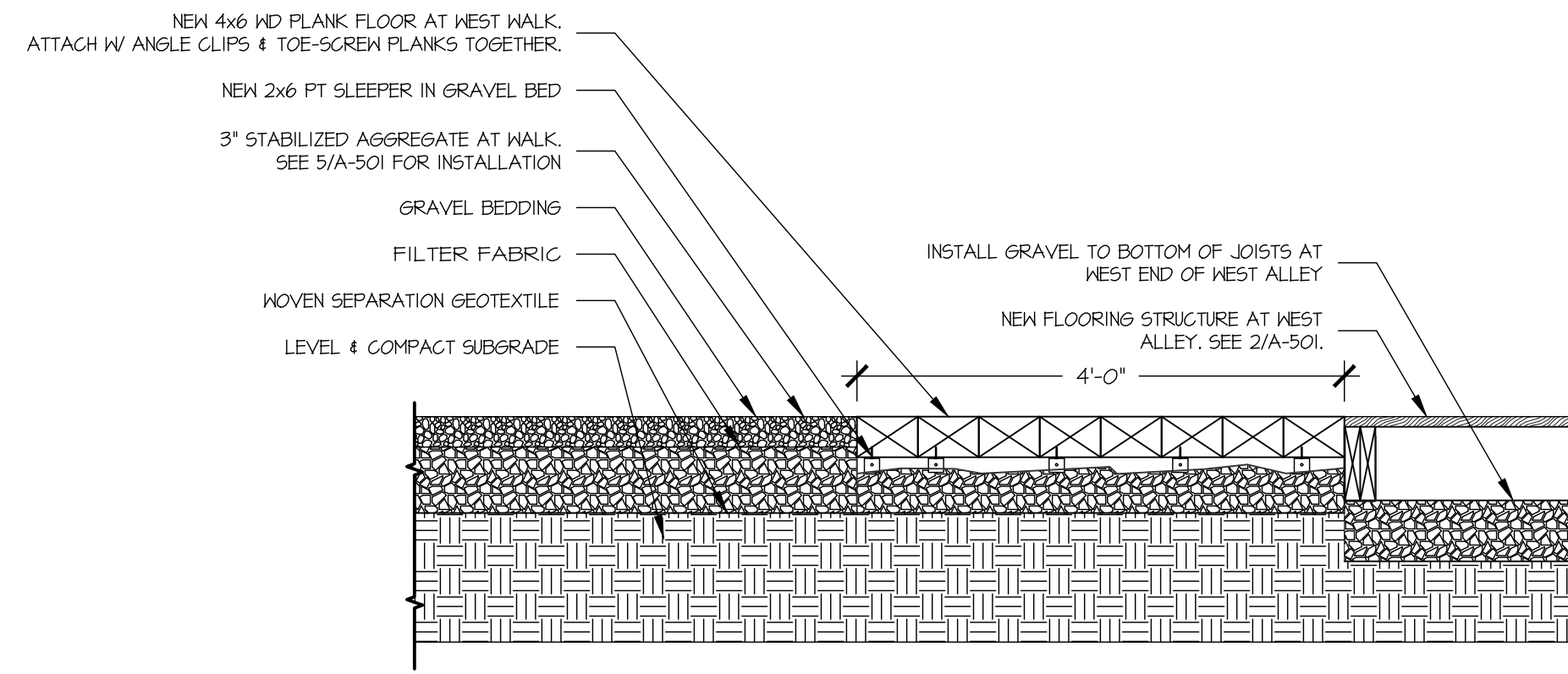
REHABILITATION OF THE  
**FORTY STALL BARN**  
 THOMPSON PARK  
 805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

INTERIOR DETAILS  
 A-501

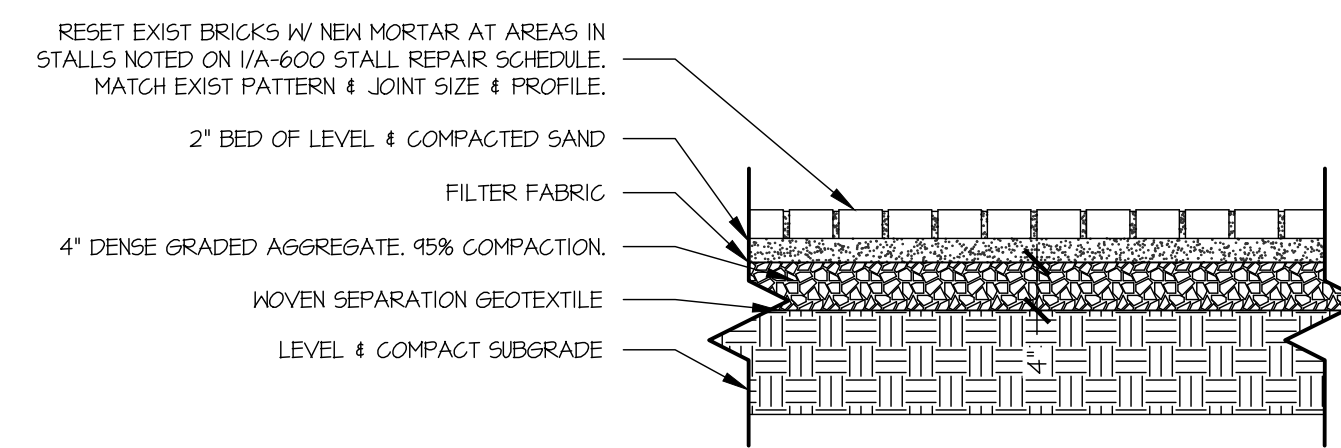
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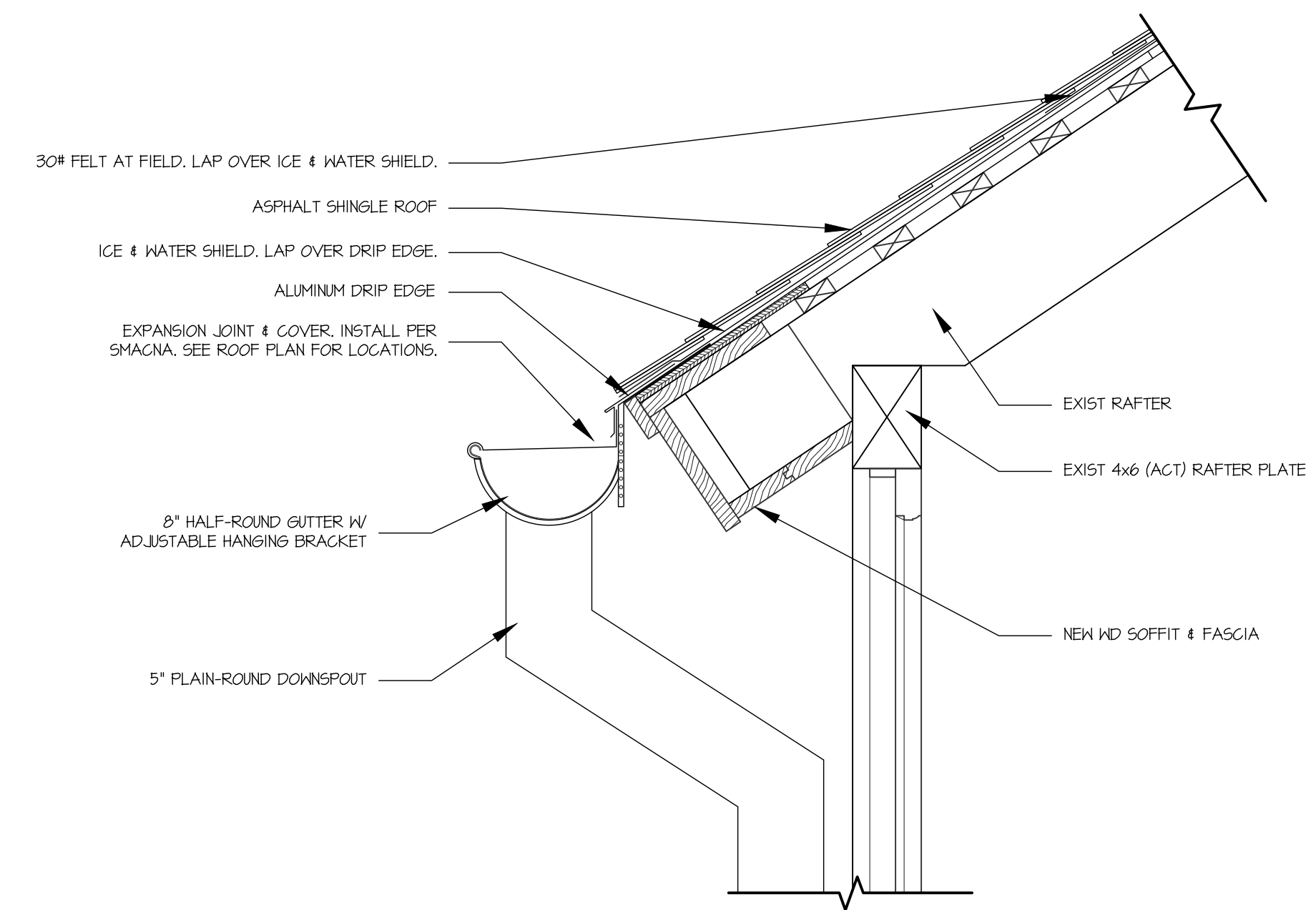
1 WEST RIDGE BEAM REPAIR DETAIL  
A-502 SCALE: 3" = 1'-0"



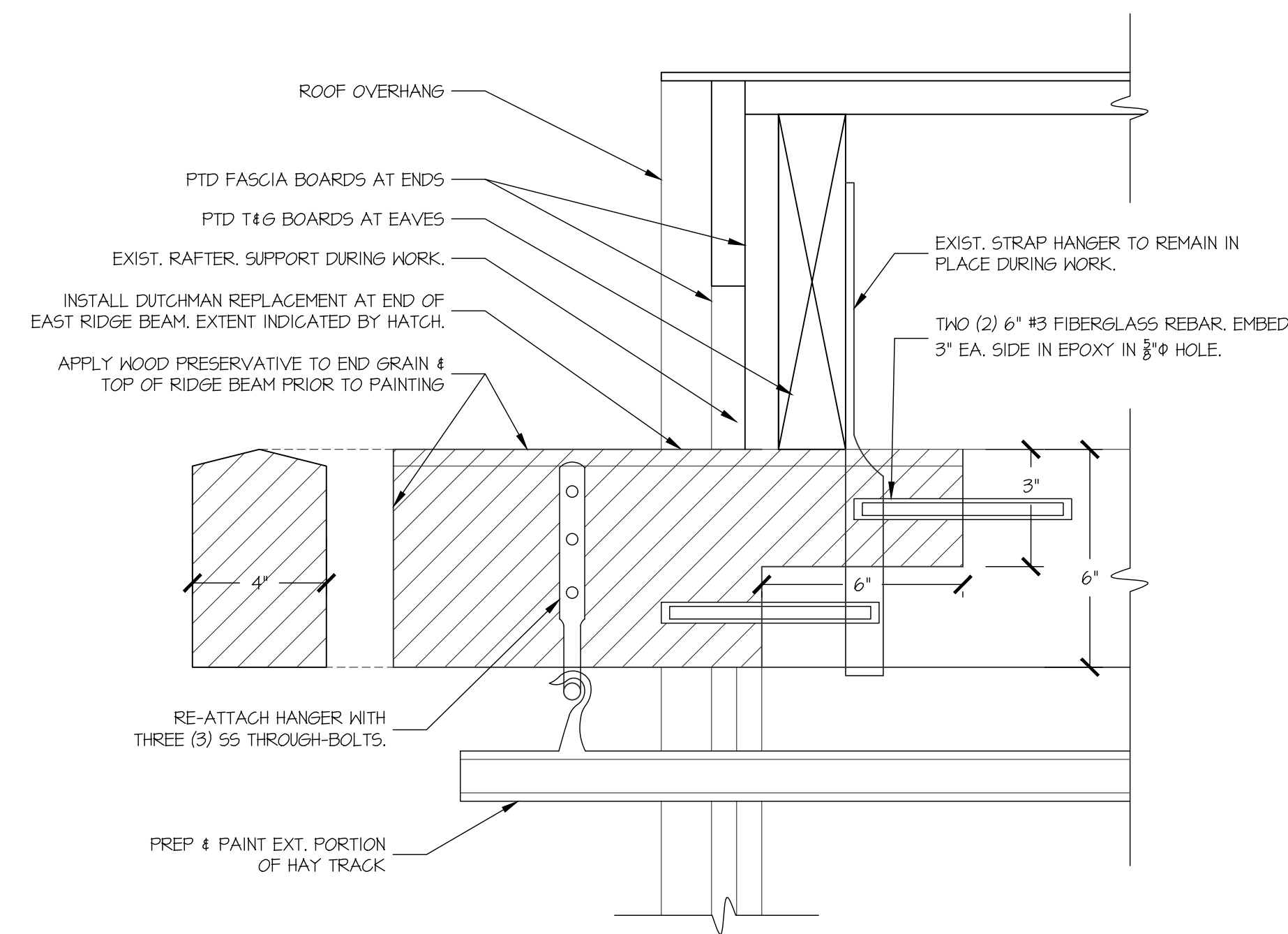
3 NEW PLANK FLOORING AT WALKS  
A-502 SCALE: 3/4" = 1'-0"



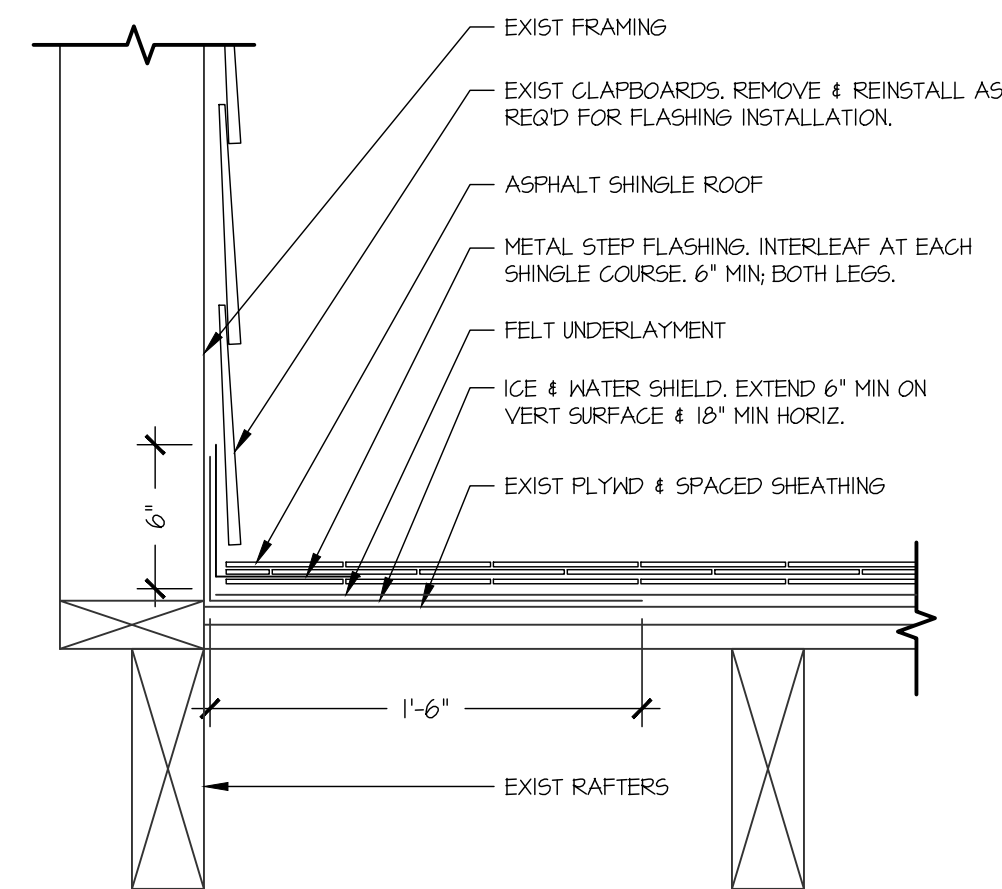
4 STALL FLOOR RESETING DETAIL  
A-502 SCALE: 3/4" = 1'-0"



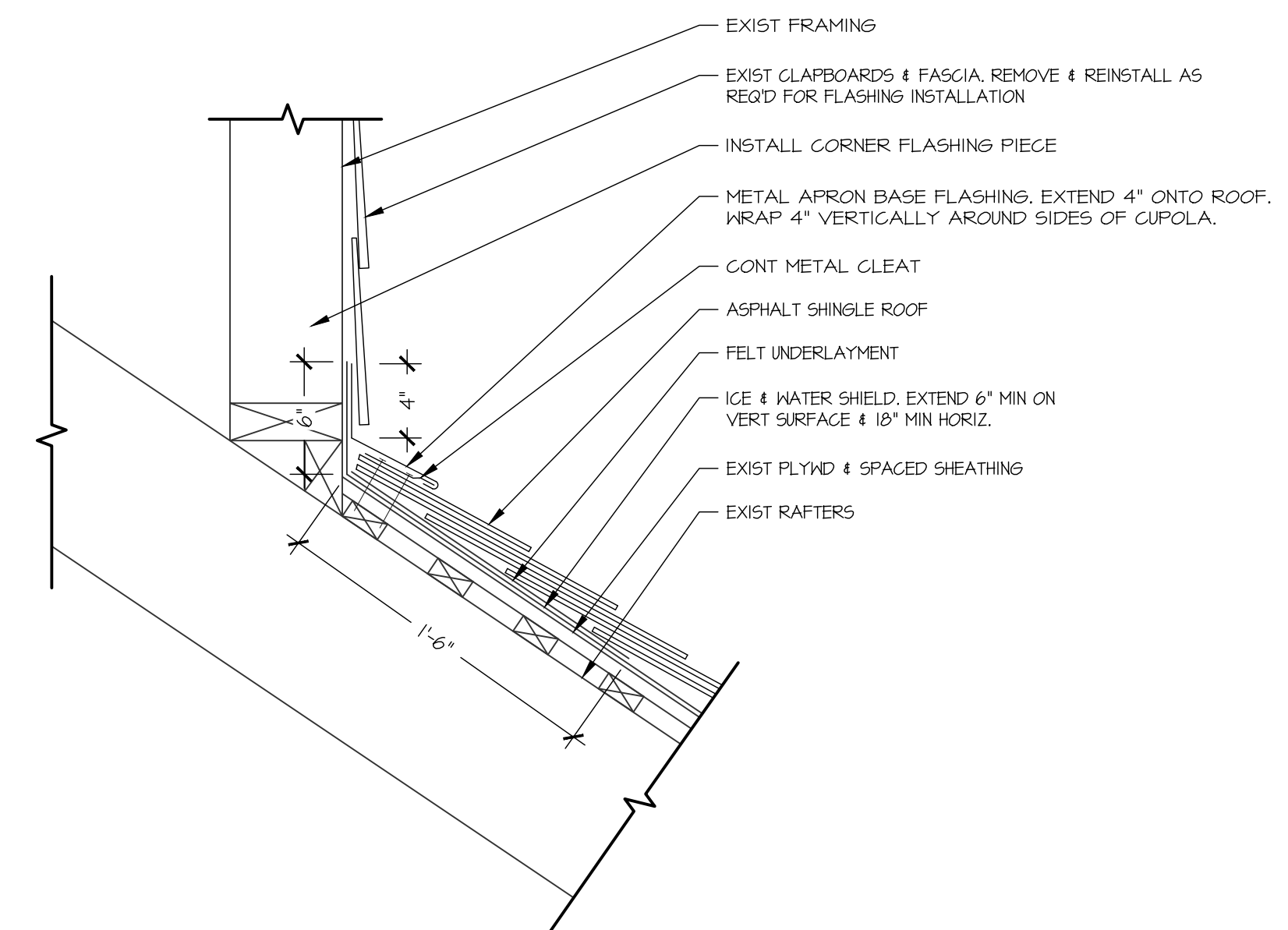
6 GUTTER DETAIL  
A-502 SCALE: 1-1/2" = 1'-0"



2 EAST RIDGE BEAM REPAIR DETAIL  
A-502 SCALE: 3/4" = 1'-0"

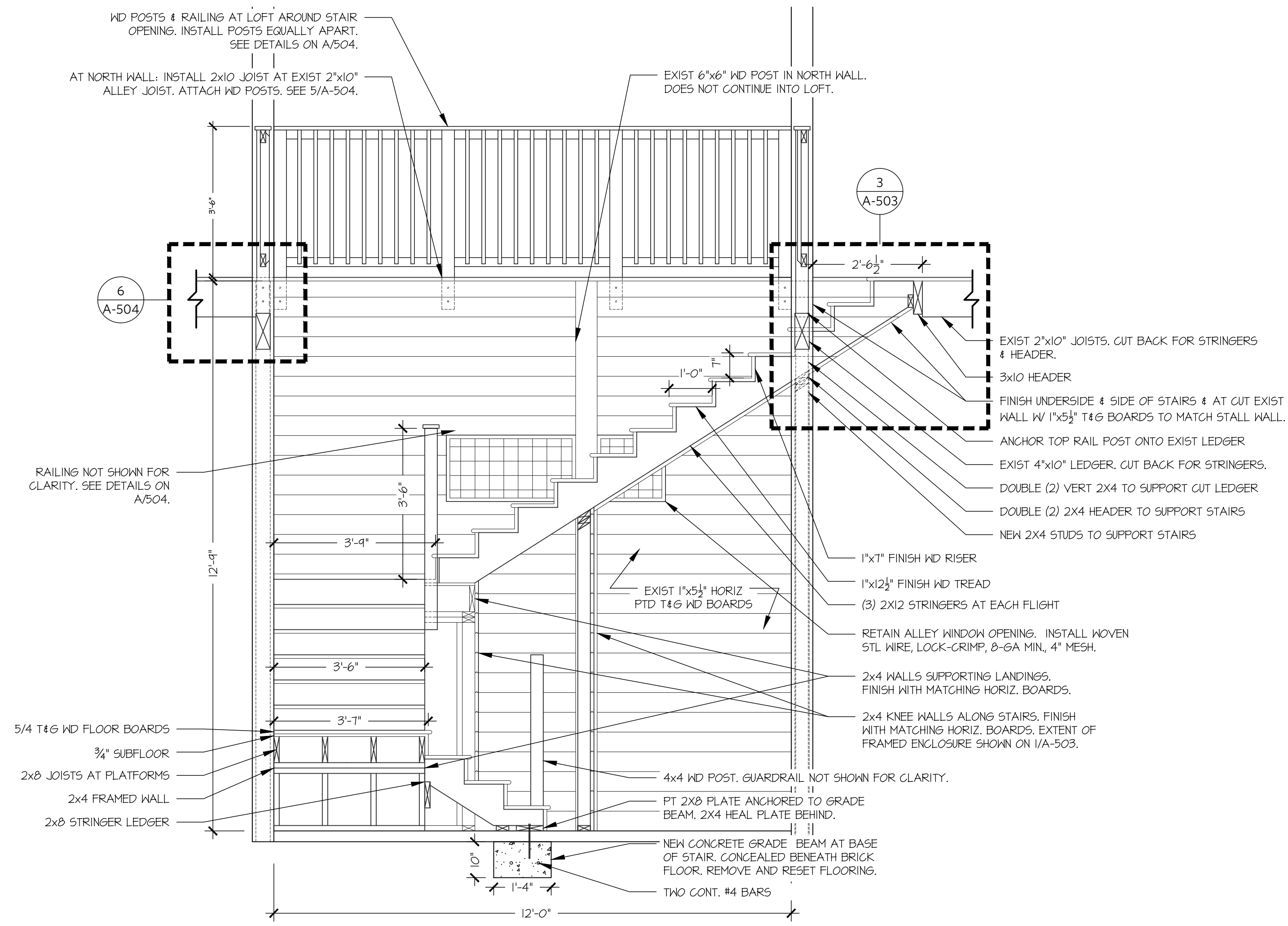


5 CUPOLA SIDEWALL FLASHING DETAIL  
A-502 SCALE: 1-1/2" = 1'-0"

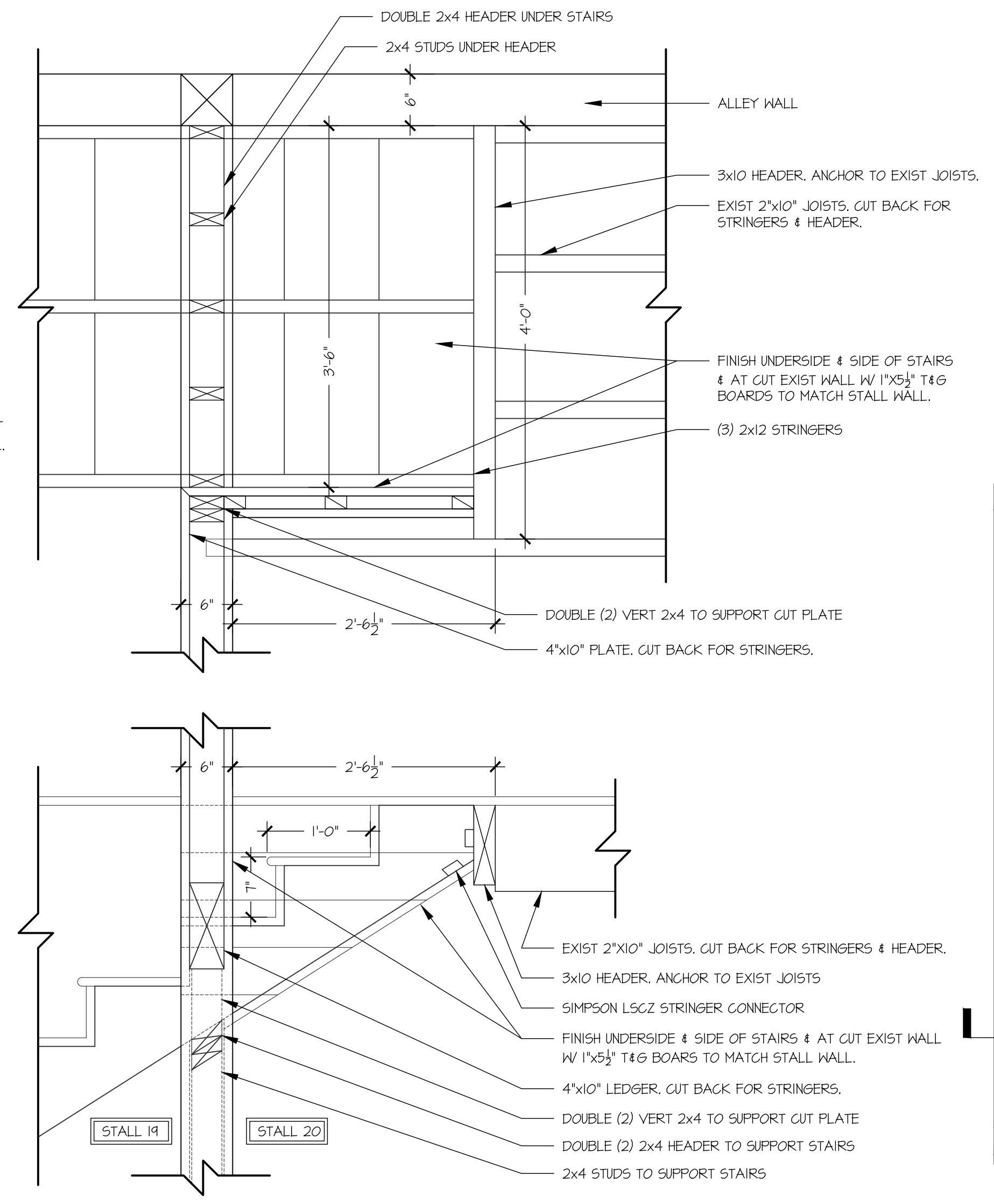


7 CUPOLA APRON FLASHING DETAIL  
A-502 SCALE: 1-1/2" = 1'-0"

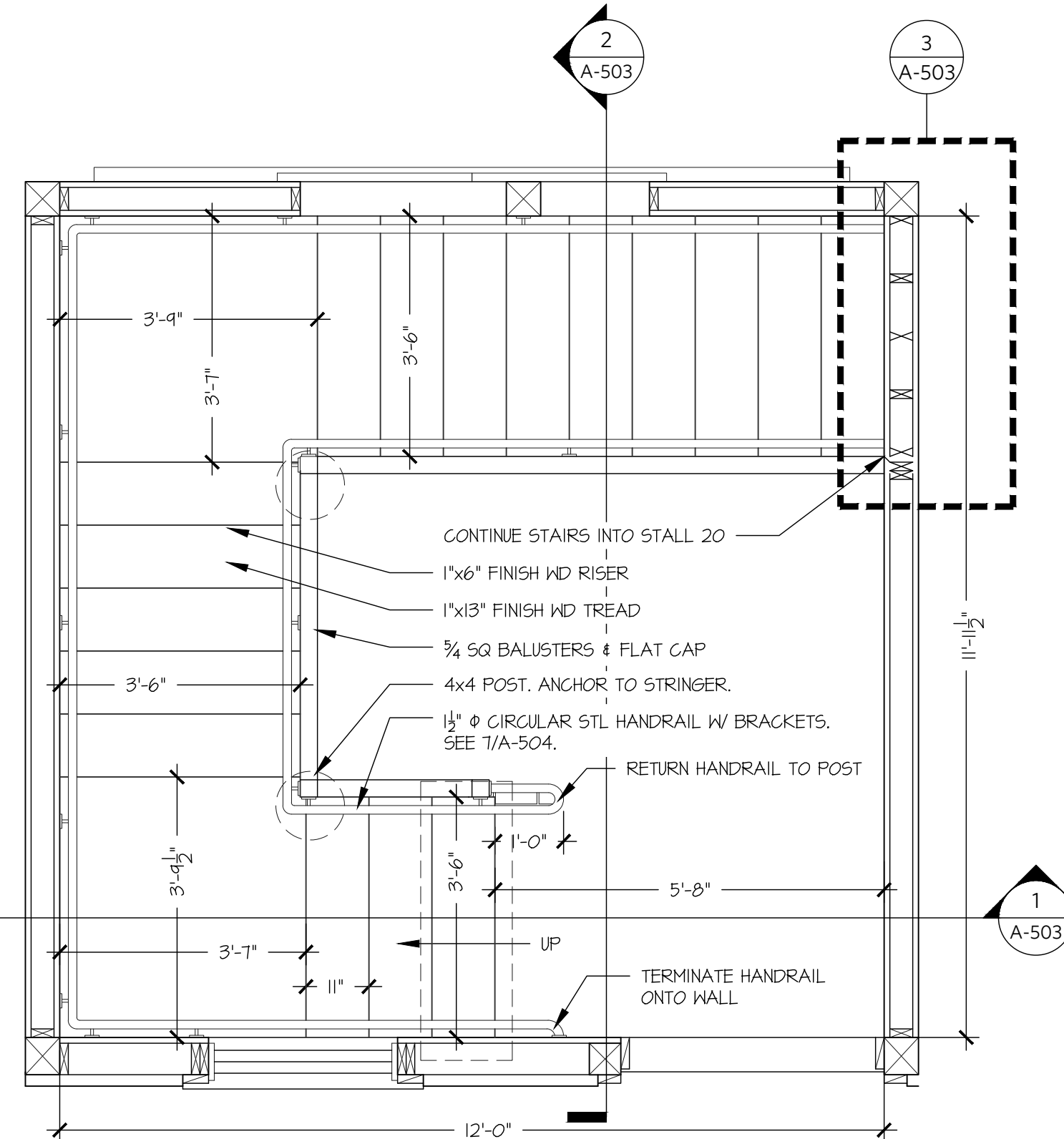




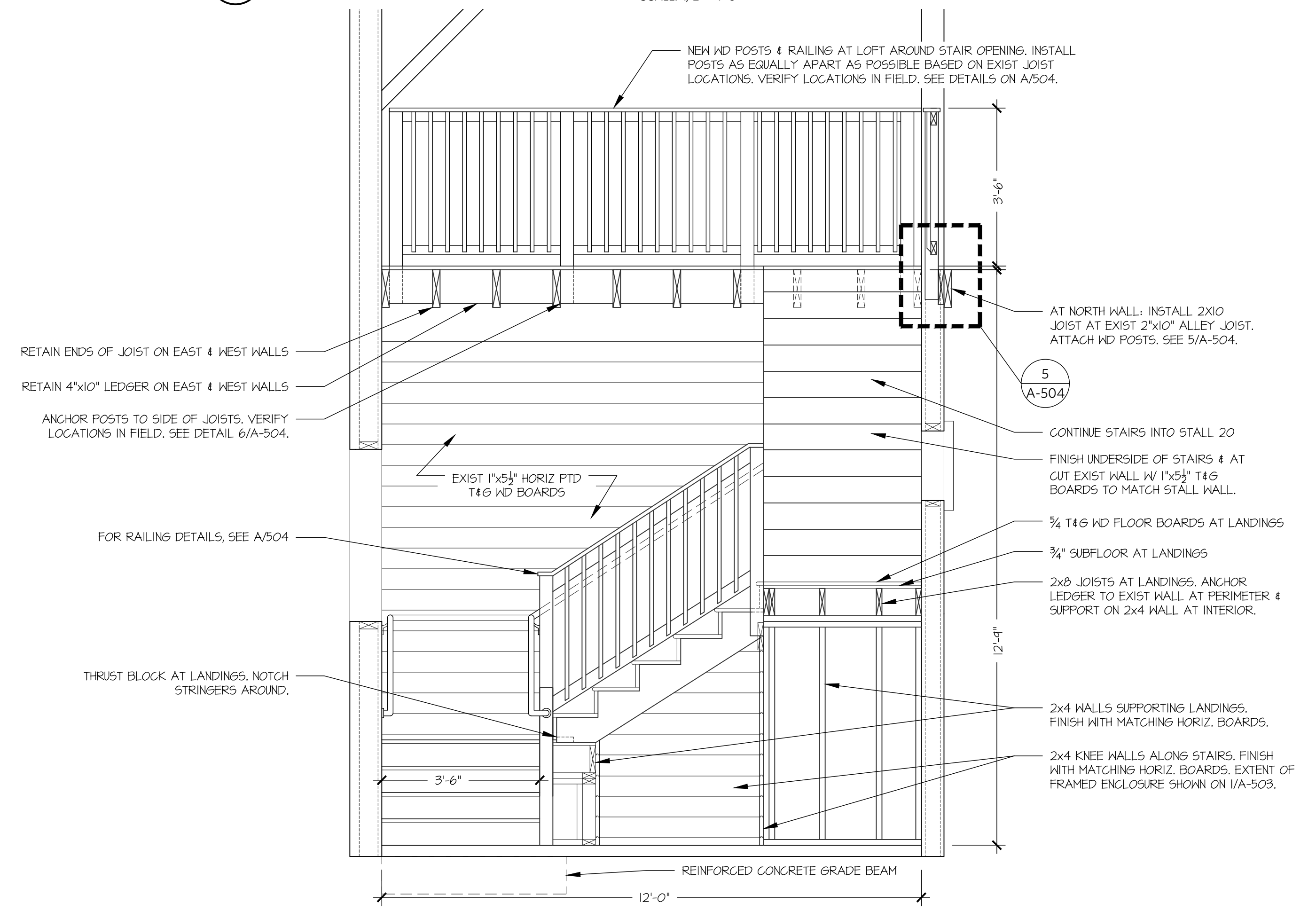
1 NORTH STAIR SECTION AT STALL 19  
SCALE: 1/2" = 1'-0"



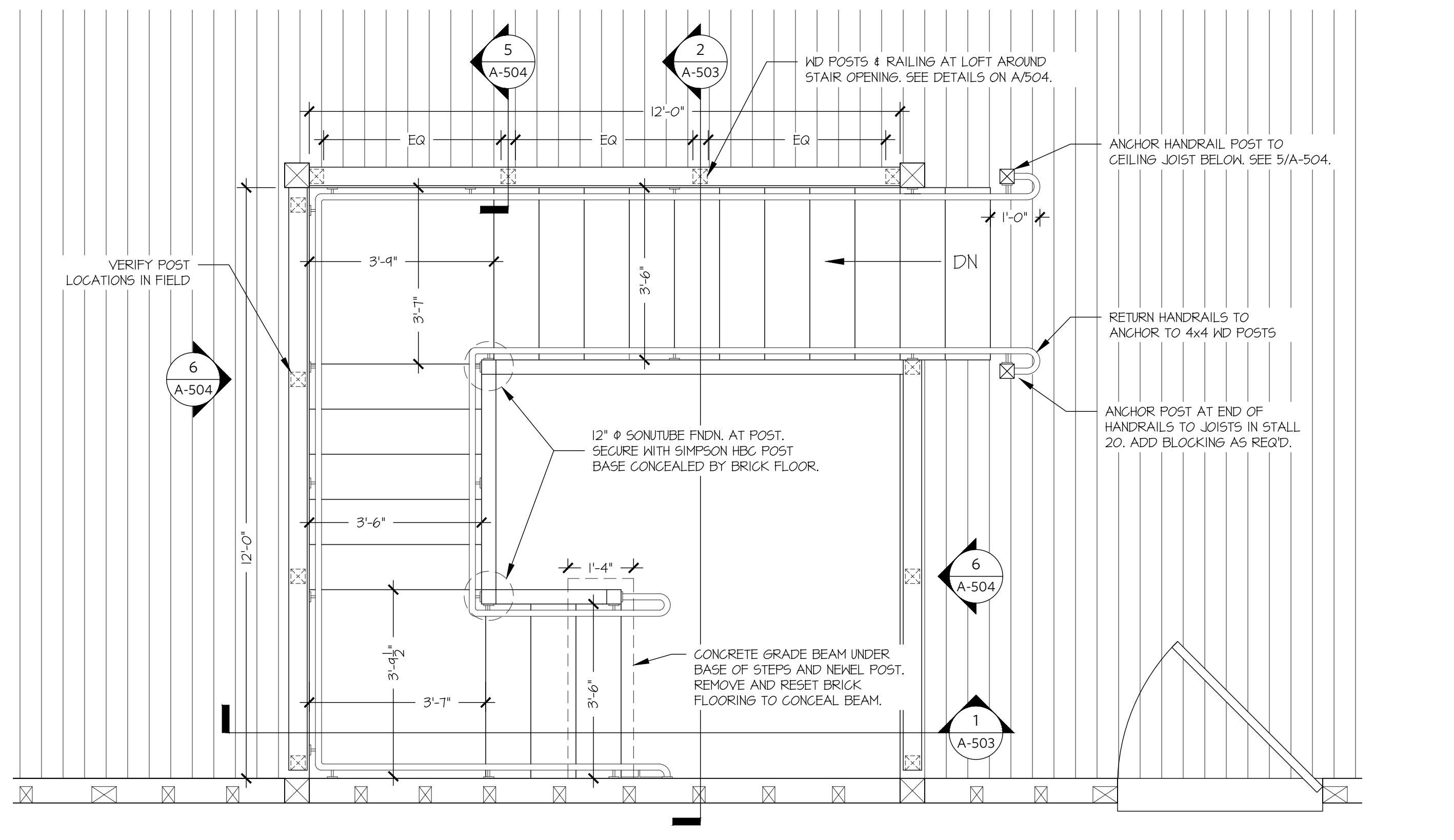
3 STAIR HEADER  
SCALE: 1" = 1'-0"



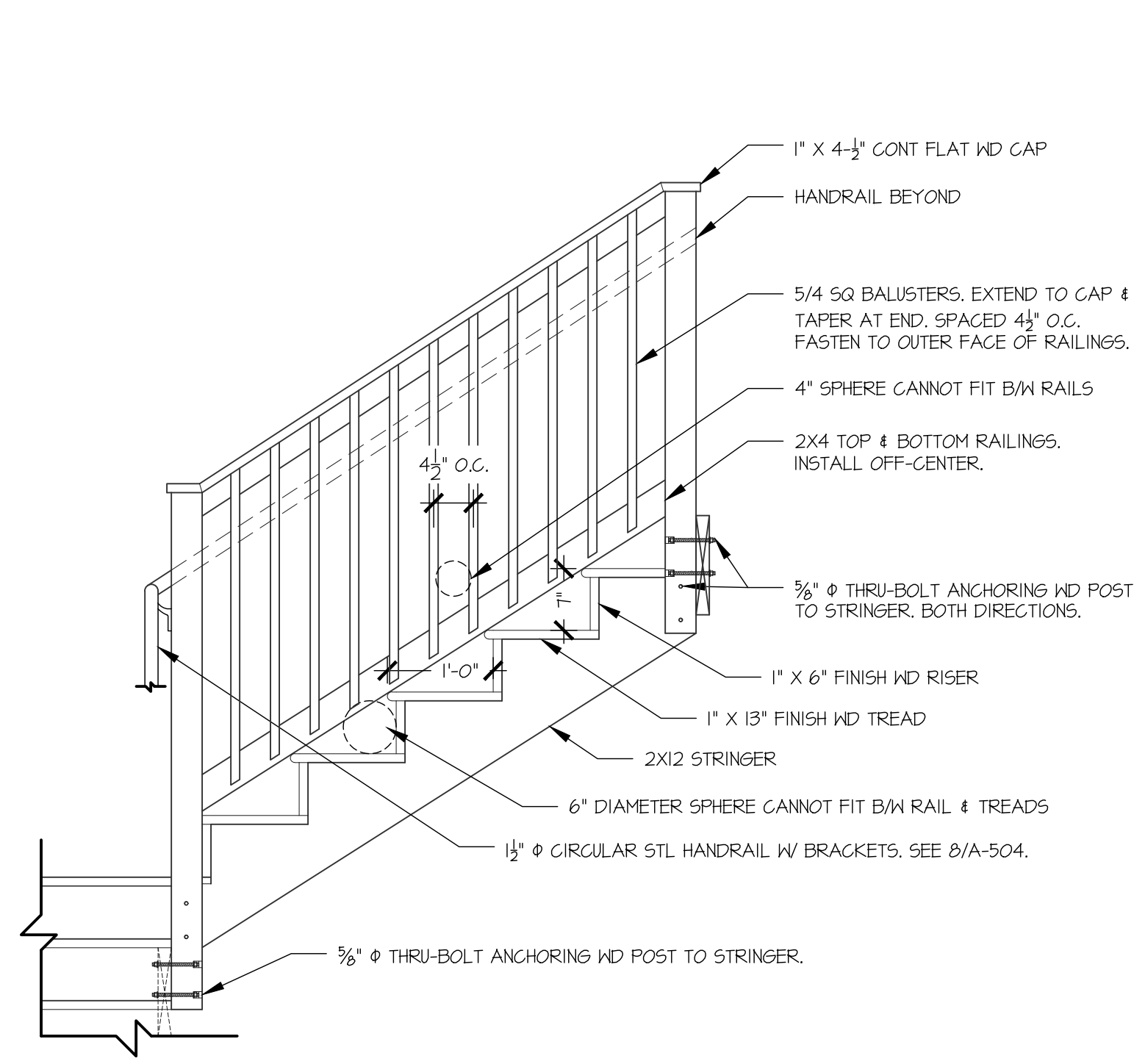
4 STAIR PLAN AT FIRST FLOOR  
SCALE: 1/2" = 1'-0"



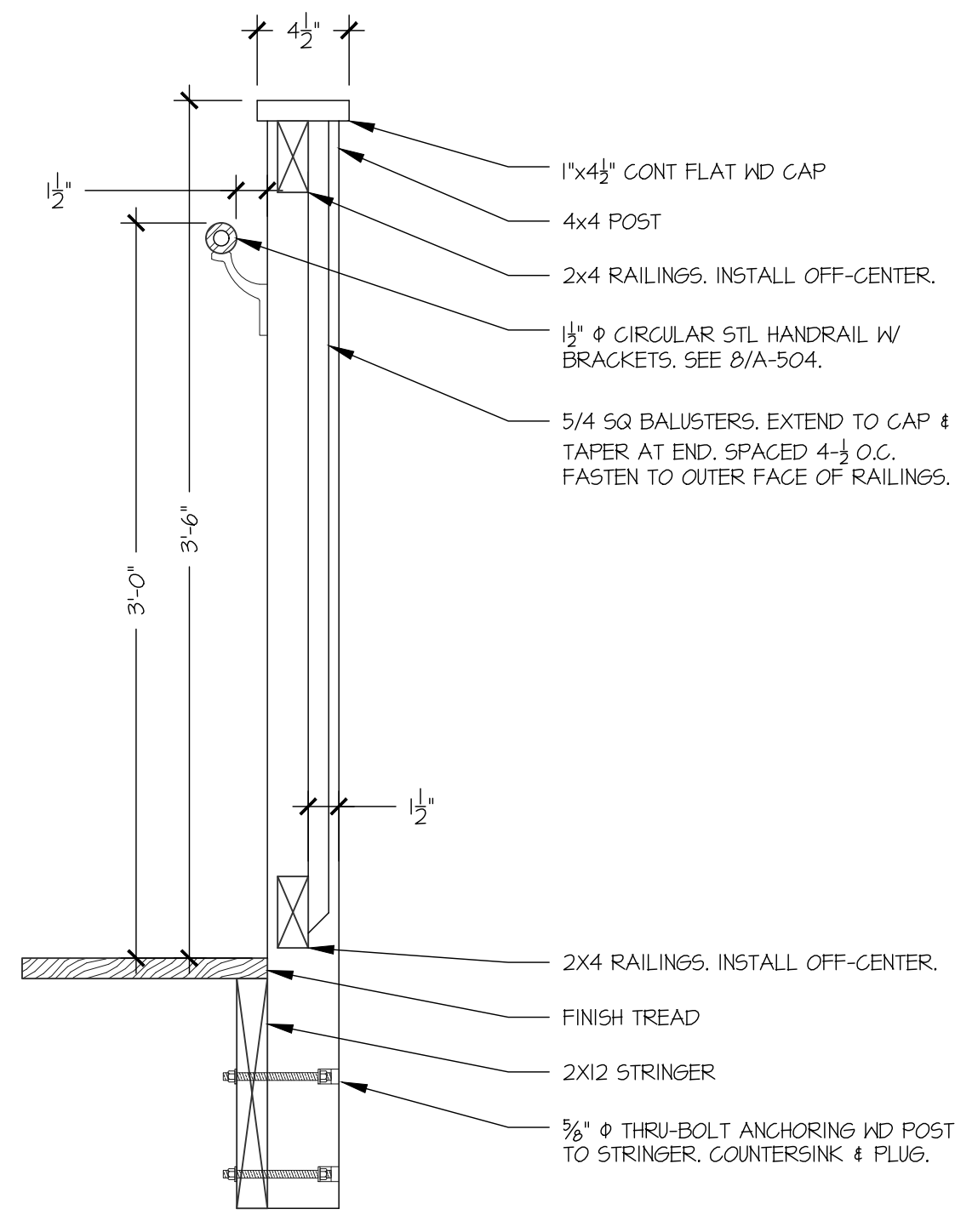
2 EAST STAIR SECTION AT STALL 19  
SCALE: 1/2" = 1'-0"



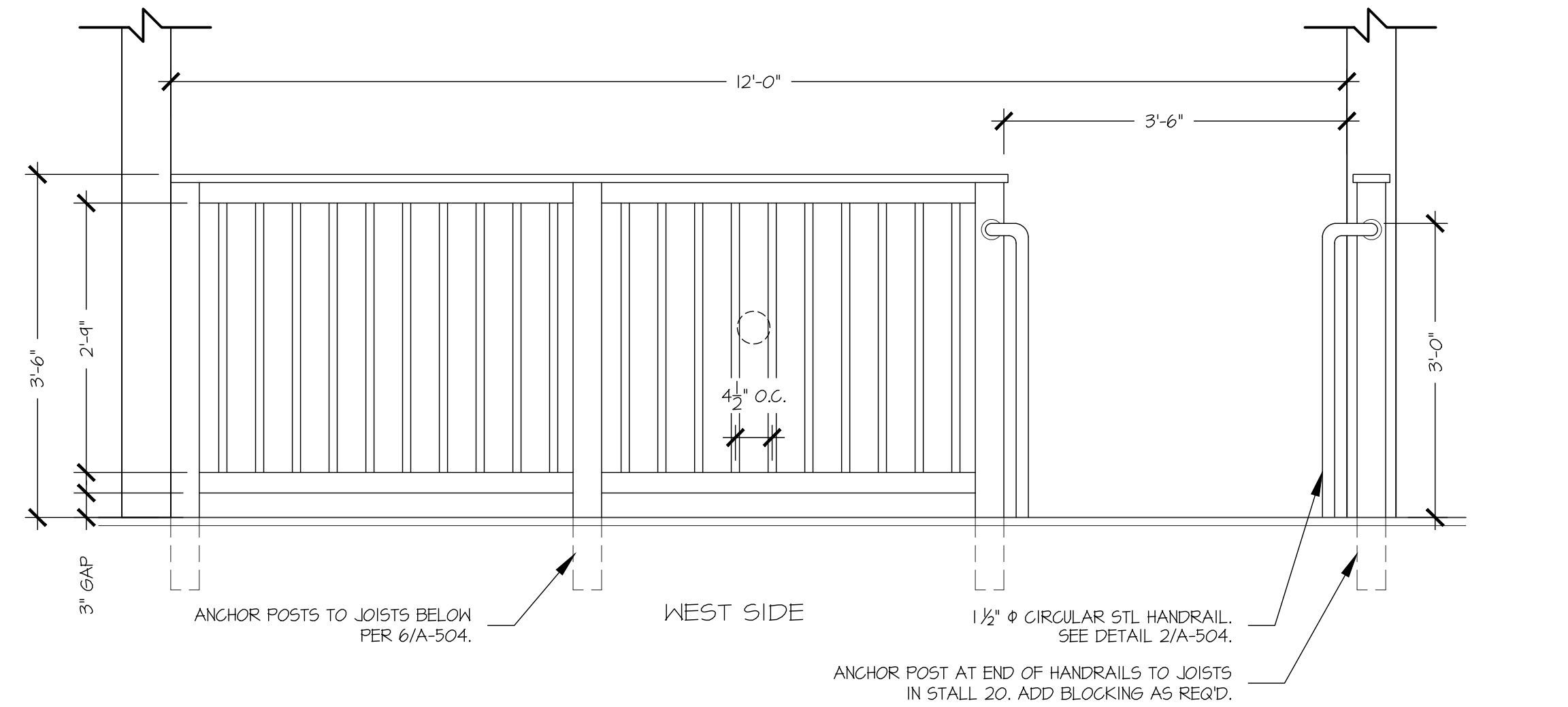
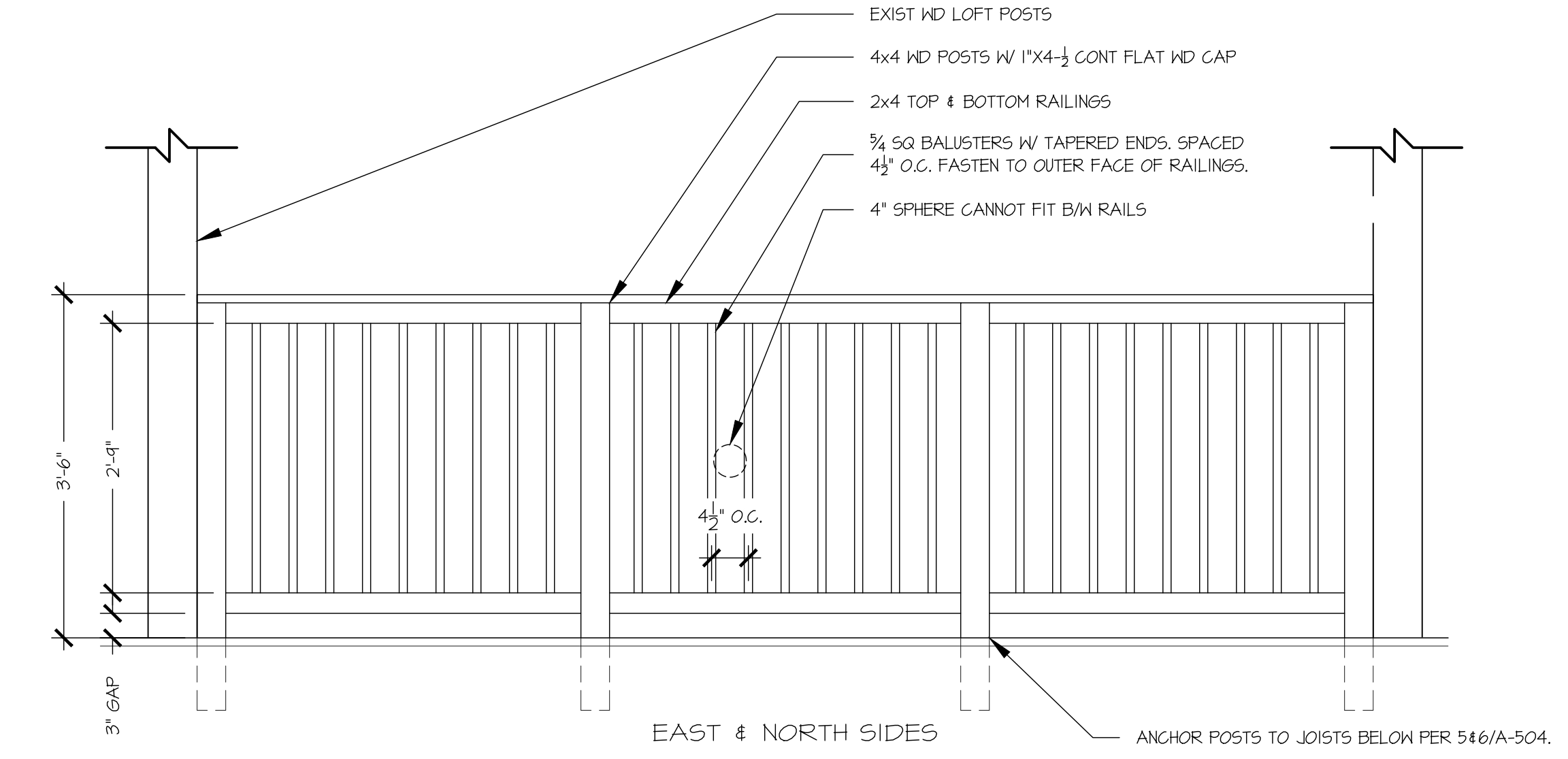
5 STAIR PLAN AT LOFT  
SCALE: 1/2" = 1'-0"



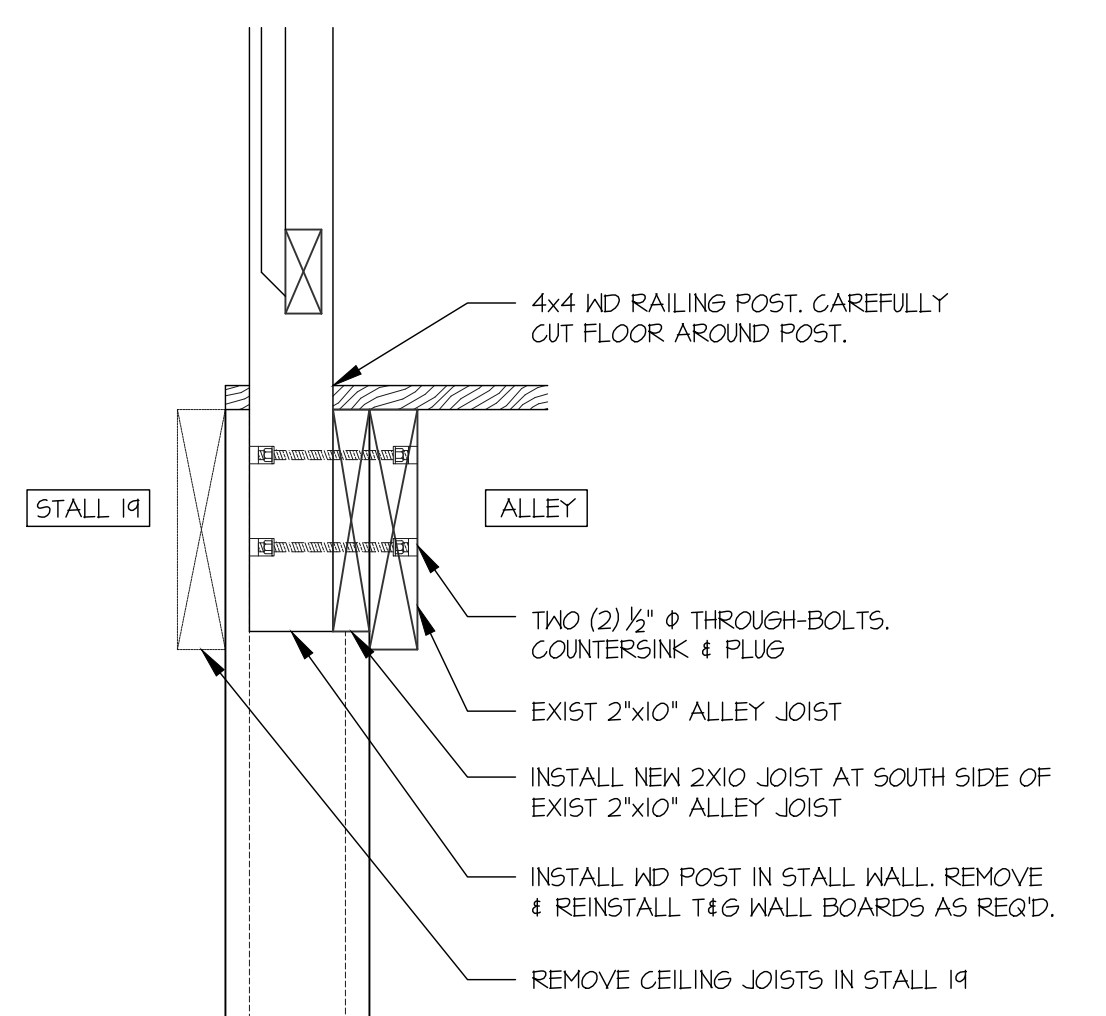
1 STAIR RAILING ELEVATION  
SCALE: 3/4" = 1'-0"



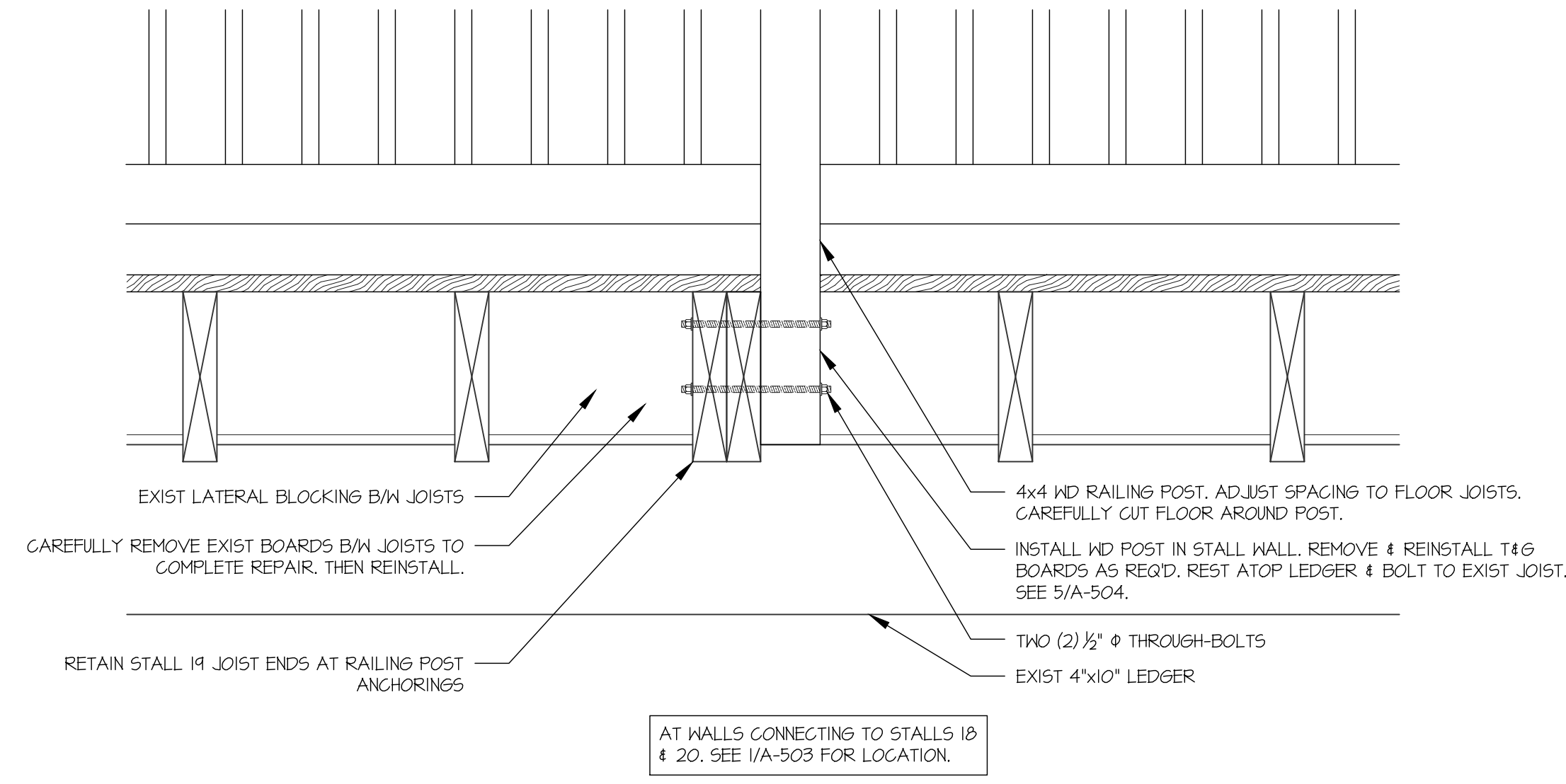
2 STAIR RAILING SECTION  
SCALE: 1-1/2" = 1'-0"



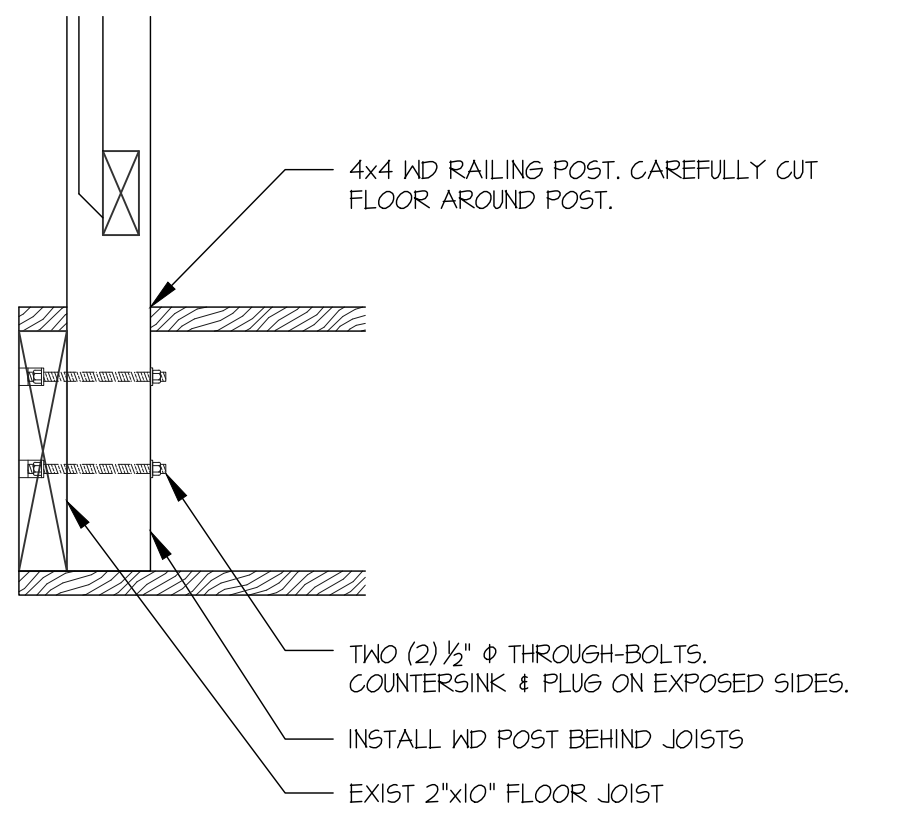
3 STAIR OPENING RAILINGS  
SCALE: 3/4" = 1'-0"



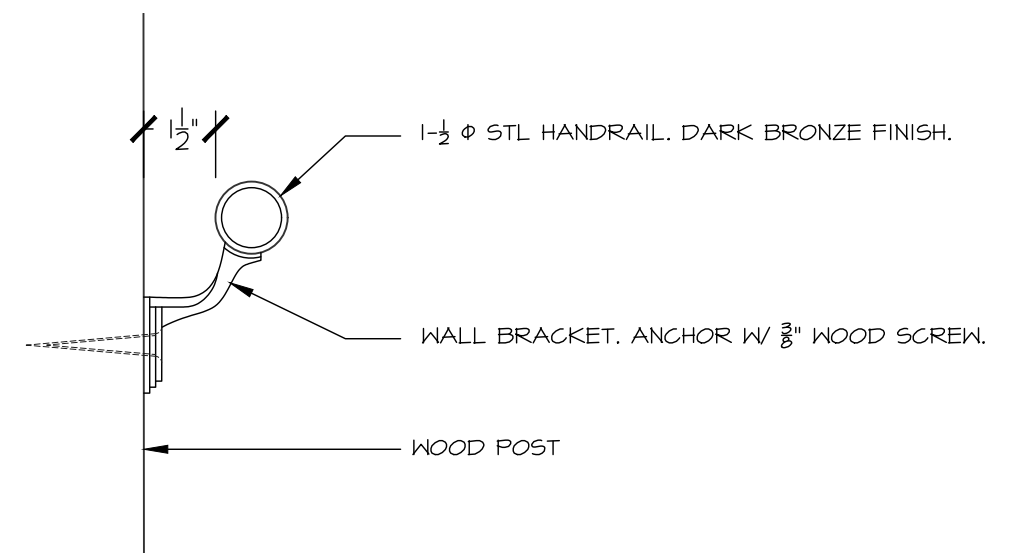
5 STAIR OPENING RAILING POST CONNECTION AT NORTH WALL  
SCALE: 1-1/2" = 1'-0"



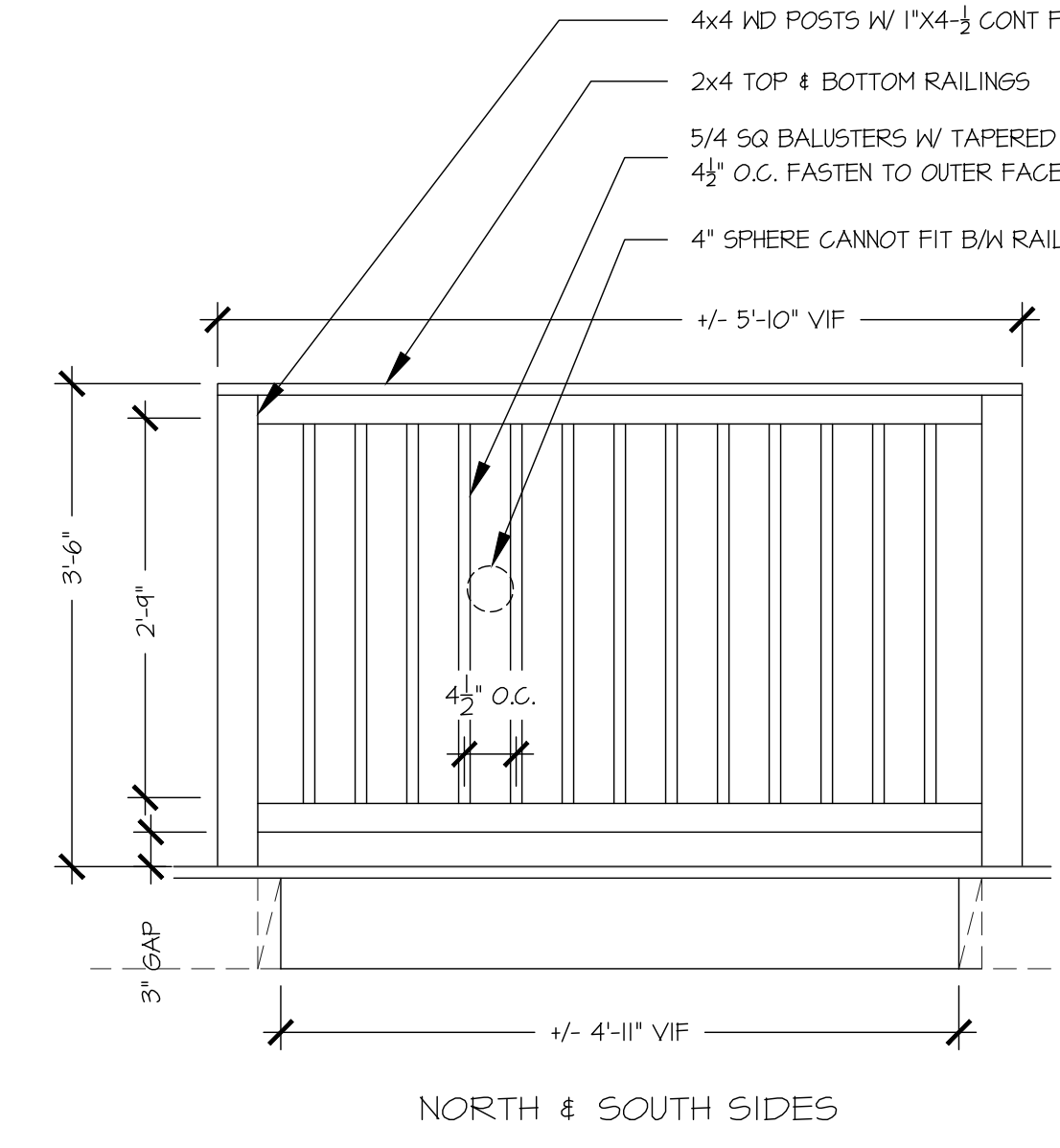
6 STAIR OPENING RAILING POST CONNECTION AT EAST & WEST WALLS  
SCALE: 1-1/2" = 1'-0"



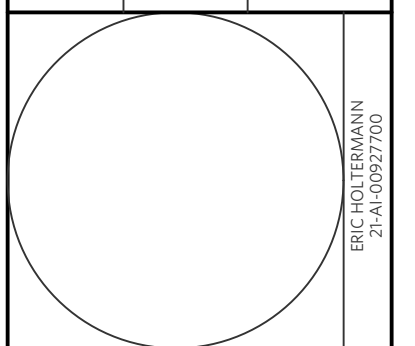
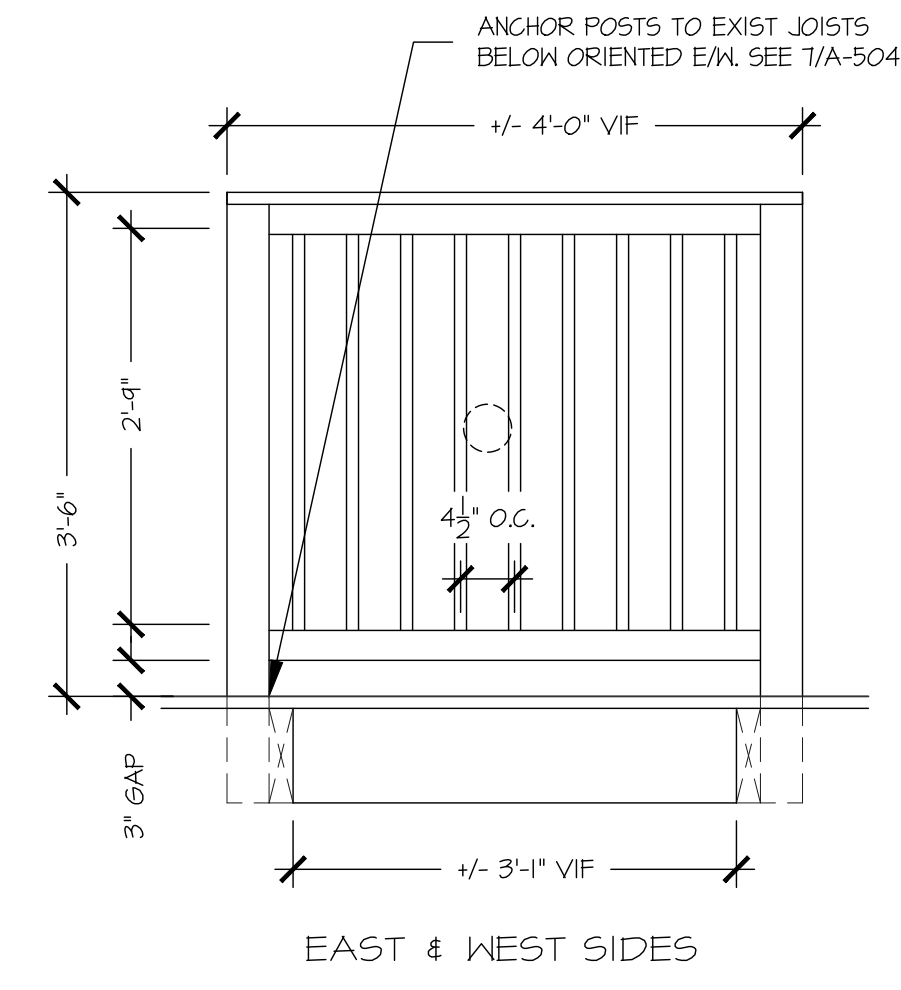
7 CENTRAL WALK RAILING POST CONNECTION  
SCALE: 1-1/2" = 1'-0"

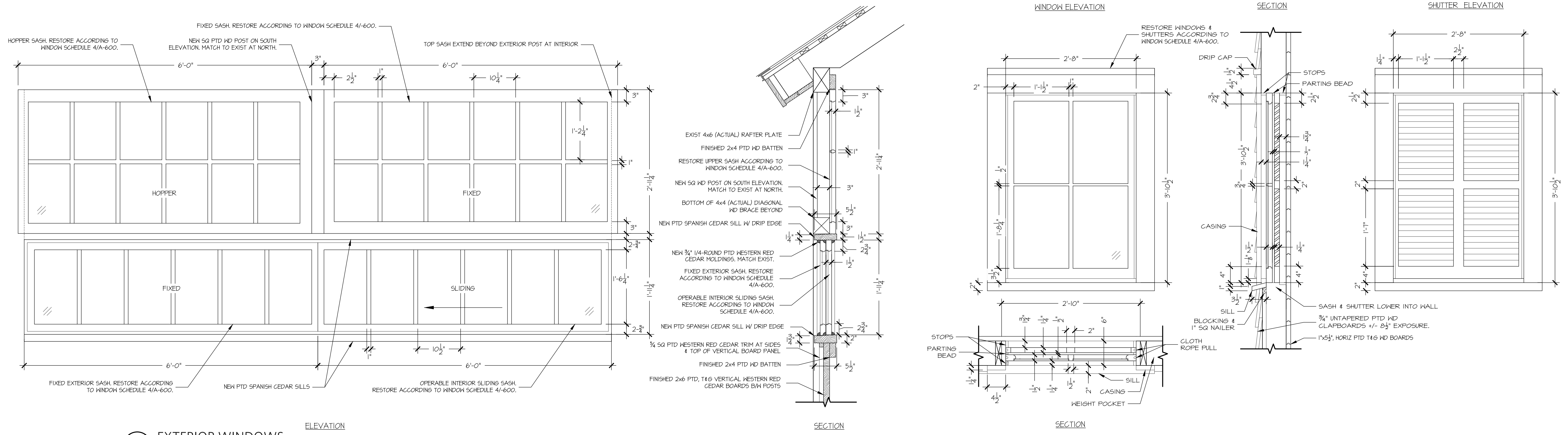


8 HANDRAIL DETAILS  
SCALE: 3" = 1'-0"

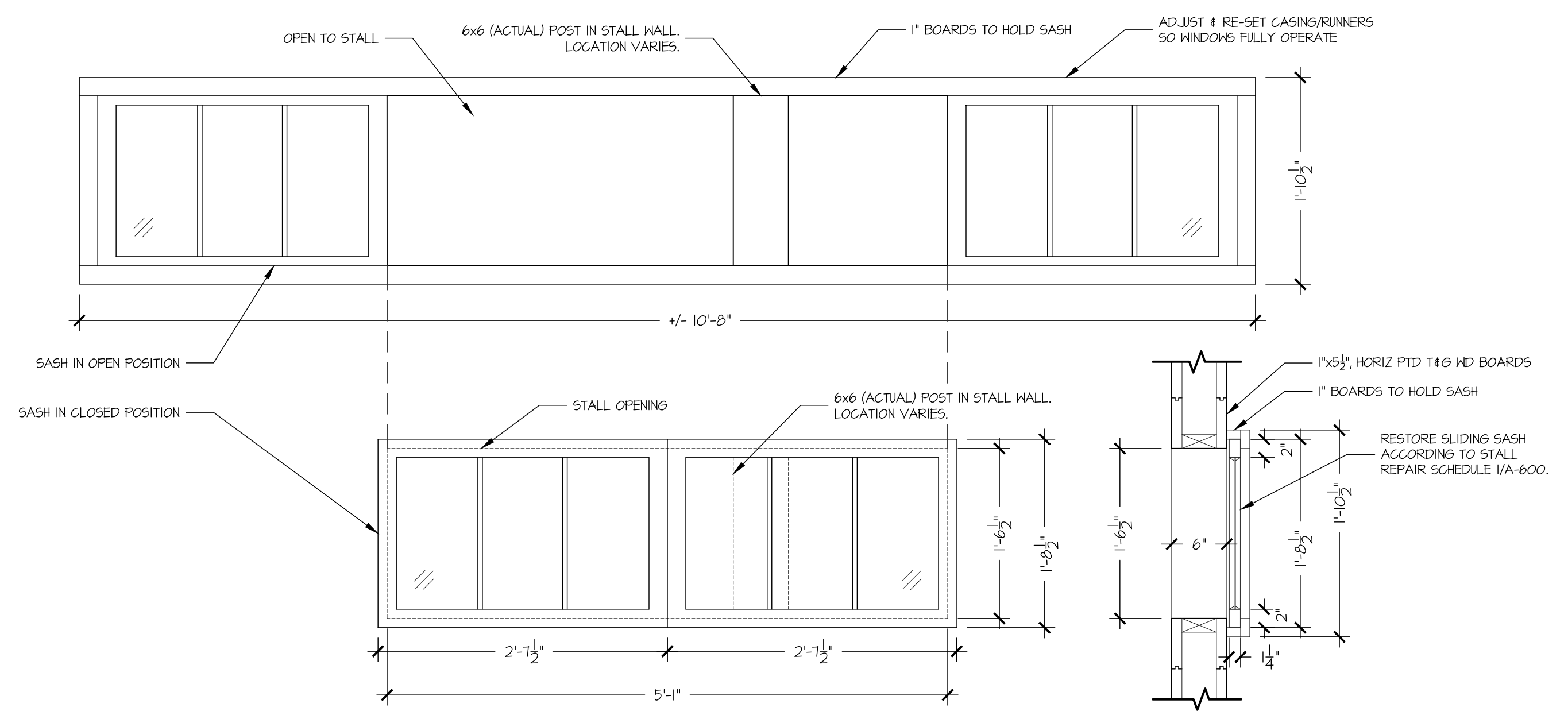


4 CENTRAL WALK OPENING RAILINGS  
SCALE: 3/4" = 1'-0"

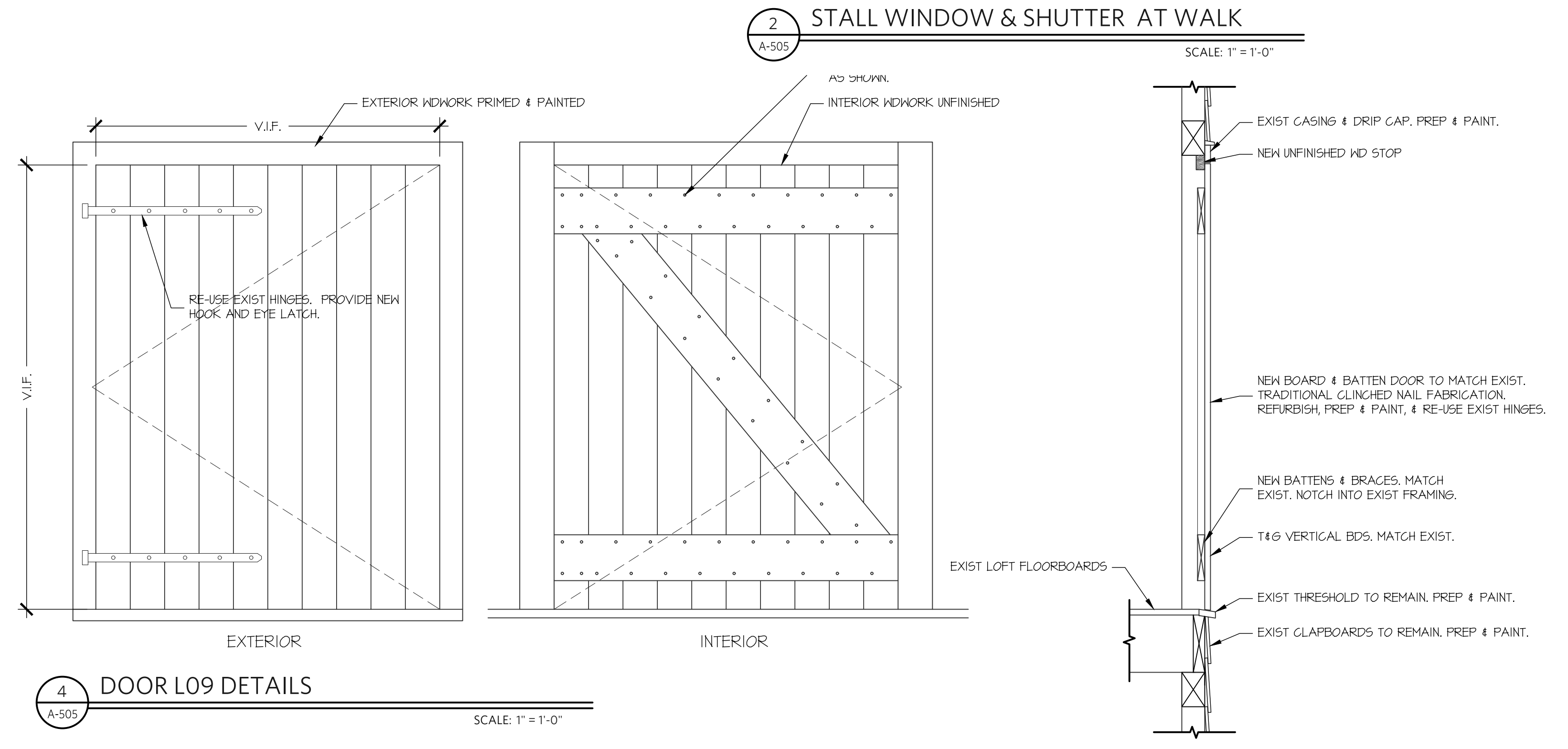




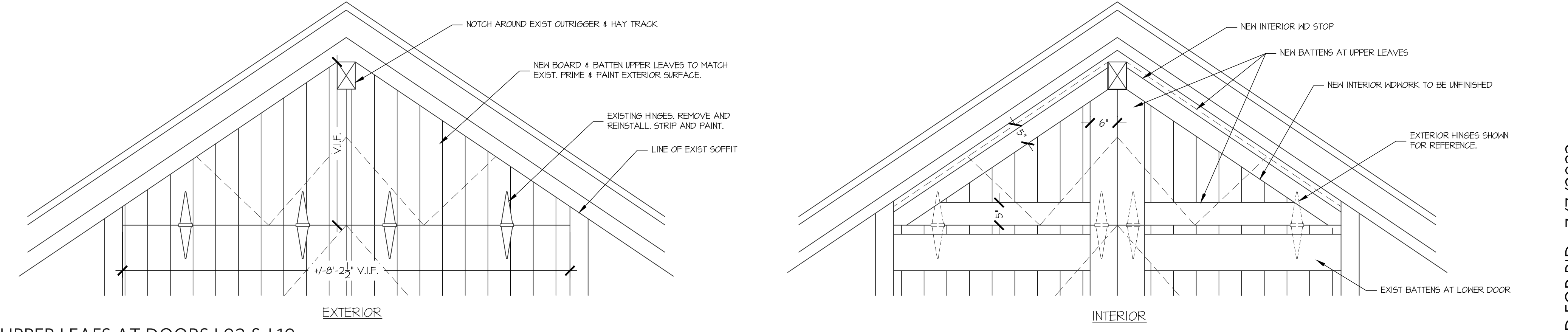
1 EXTERIOR WINDOWS  
A-505  
SCALE: 1" = 1'-0"



3 STALL WINDOW AT ALLEY  
A-505  
SCALE: 1" = 1'-0"



4 DOOR L09 DETAILS  
A-505  
SCALE: 1" = 1'-0"



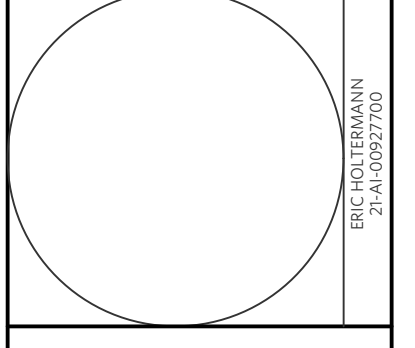
5 UPPER LEAFS AT DOORS L02 & L10  
A-505  
SCALE: 3/4" = 1'-0"

SCALE: AS NOTED  
DRAWN BY: KLS & SL  
DATE: 7/7/23

**HMR ARCHITECTS**  
821 ALEXANDER ROAD - SUITE 115  
PRINCETON, NEW JERSEY 08540  
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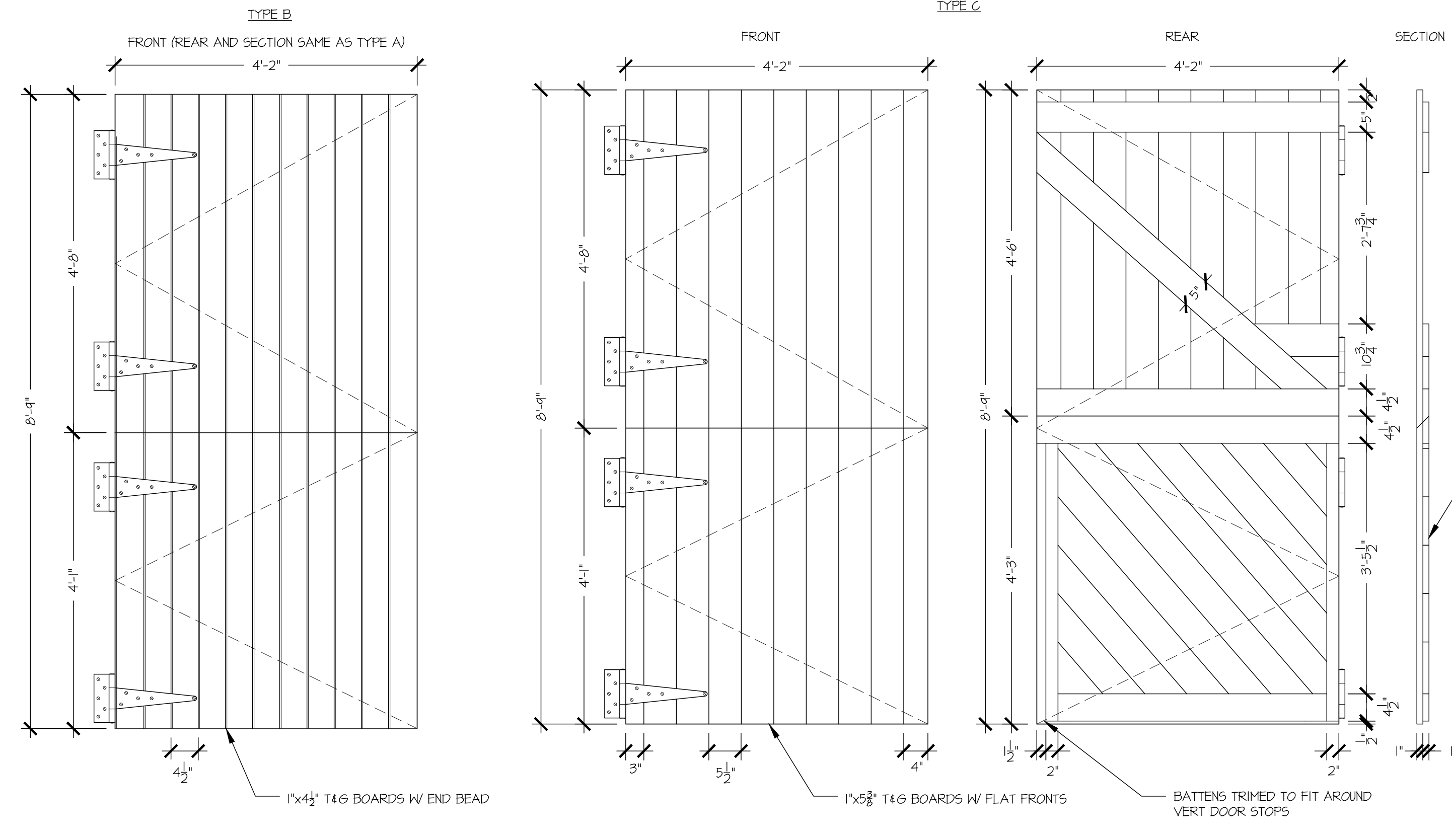
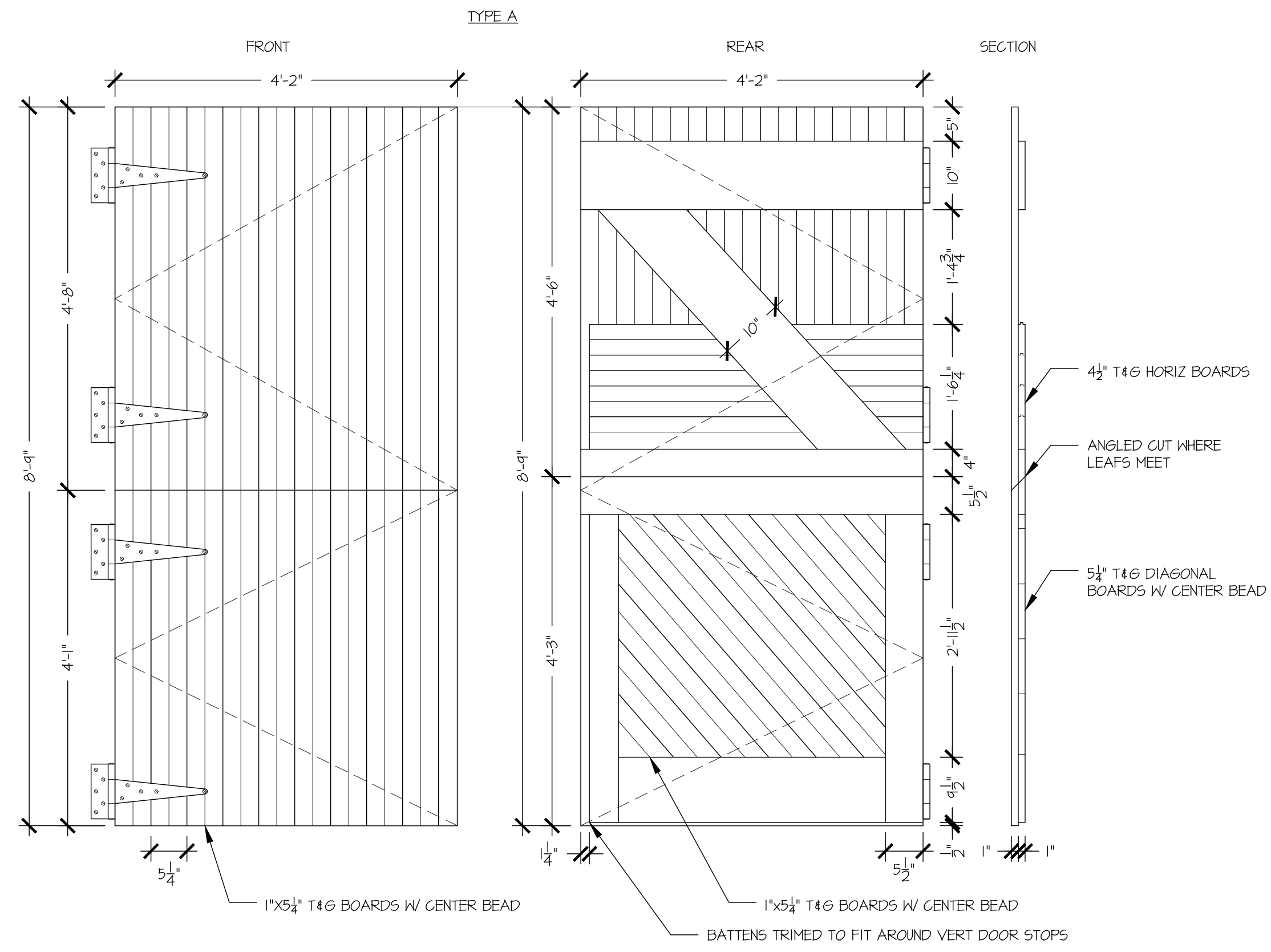
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136 11TH ST. BRICATAWAY, NJ 08854  
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REHABILITATION OF THE  
**FORTY STALL BARN**  
THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

ISSUED FOR BID - 7/7/2023

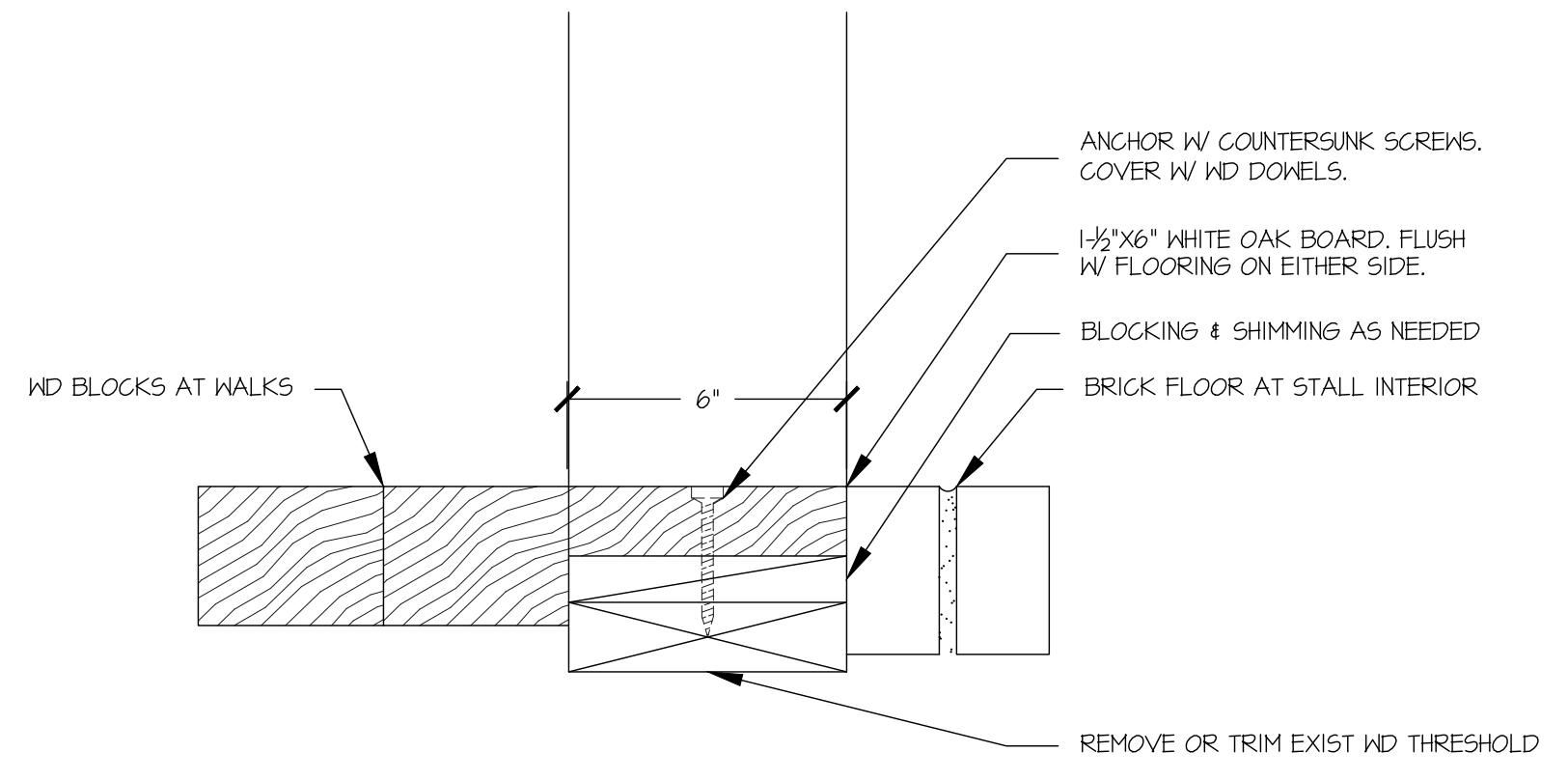
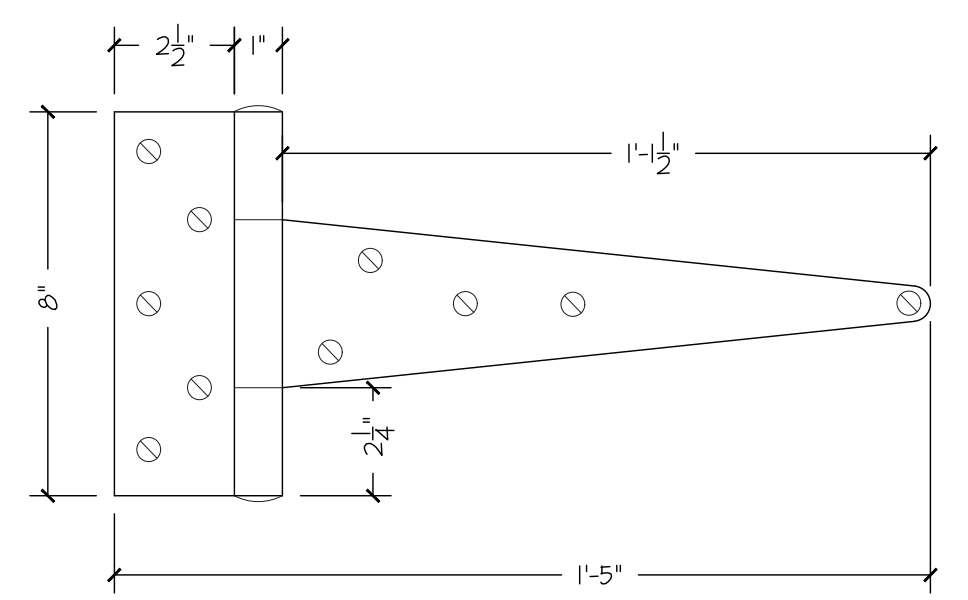
**A-505**



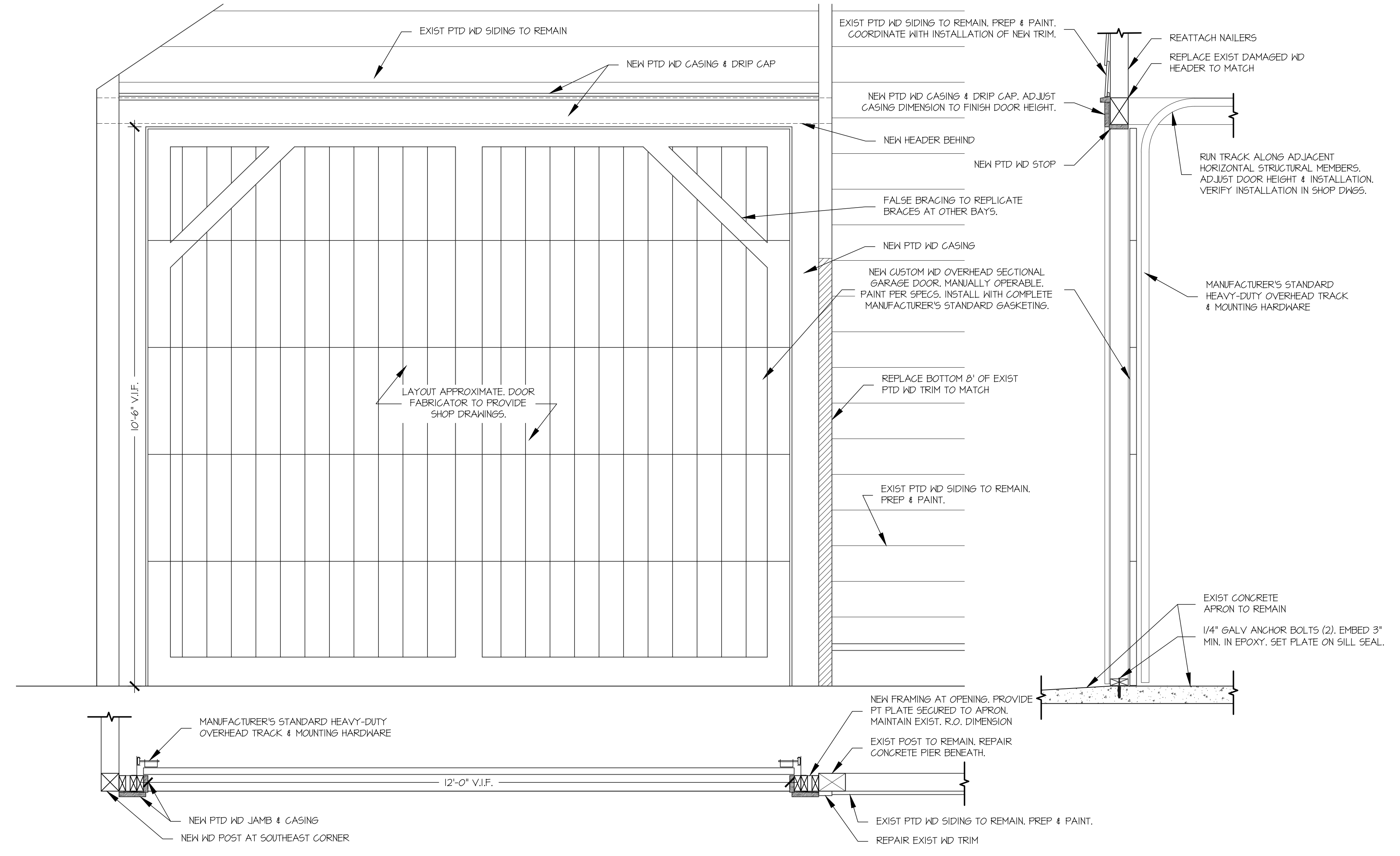
**STALL DOOR TYPES:**

I-10:	A
I-15:	B
I-16:	A
I-24:	B
25:	A
26 & 27:	B
28:	A
29 & 30:	B
31-40:	A

**1 STALL DOORS**  
A-506 SCALE: 3/4" = 1'-0"



**3 STALL DOOR THRESHOLD REPAIR**  
A-506 SCALE: 3" = 1'-0"



**4 EAST GARAGE DOOR DETAILS**  
A-506 SCALE: 3/4" = 1'-0"

SCALE: AS NOTED  
DRAWN BY: SL  
DATE: 7/7/23

**A-506**

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PRINCETON JUNCTION, NJ 08550  
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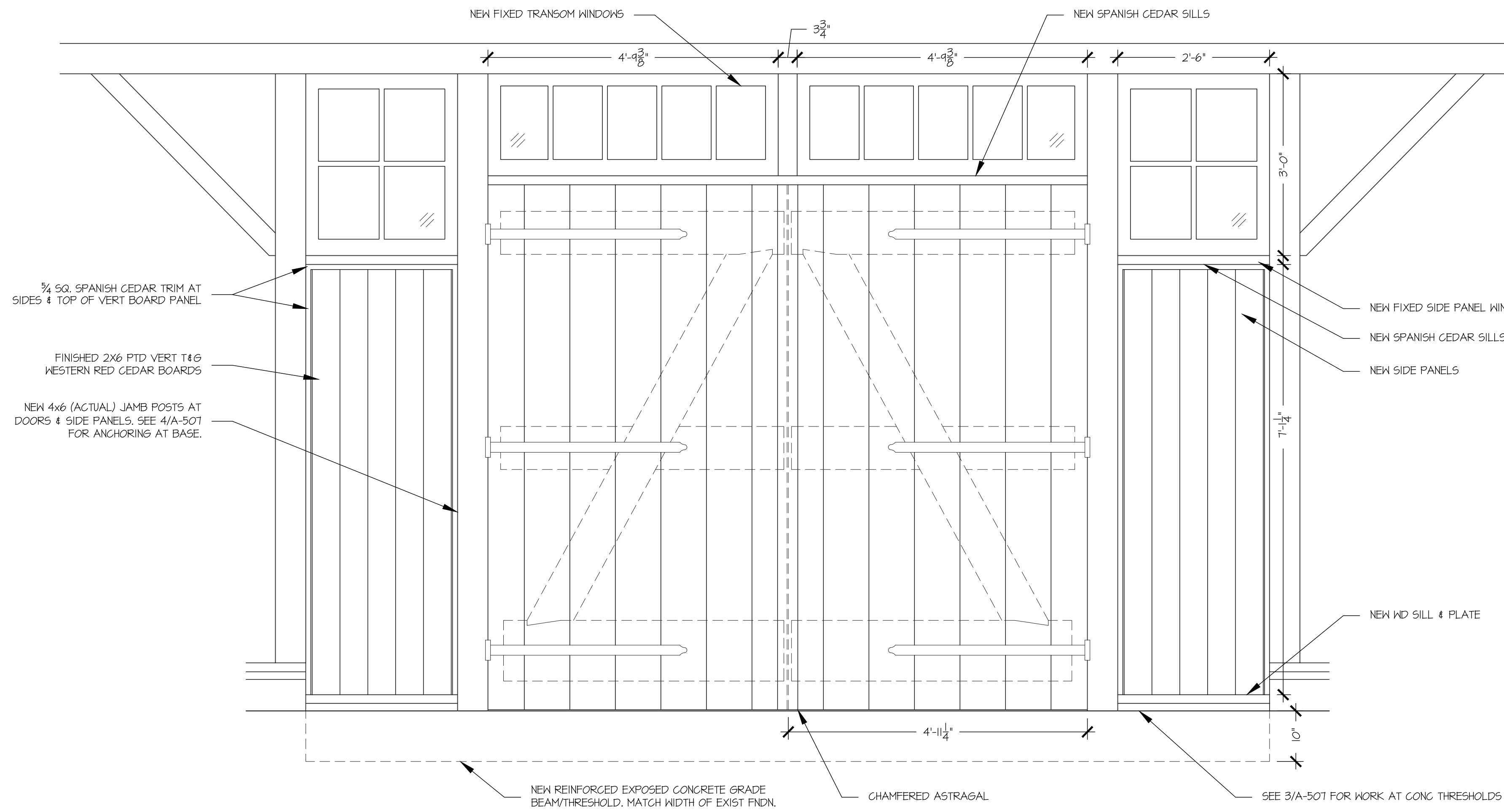
**E.P.I.C. MANAGEMENT, INC.**  
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**DOOR DETAILS**

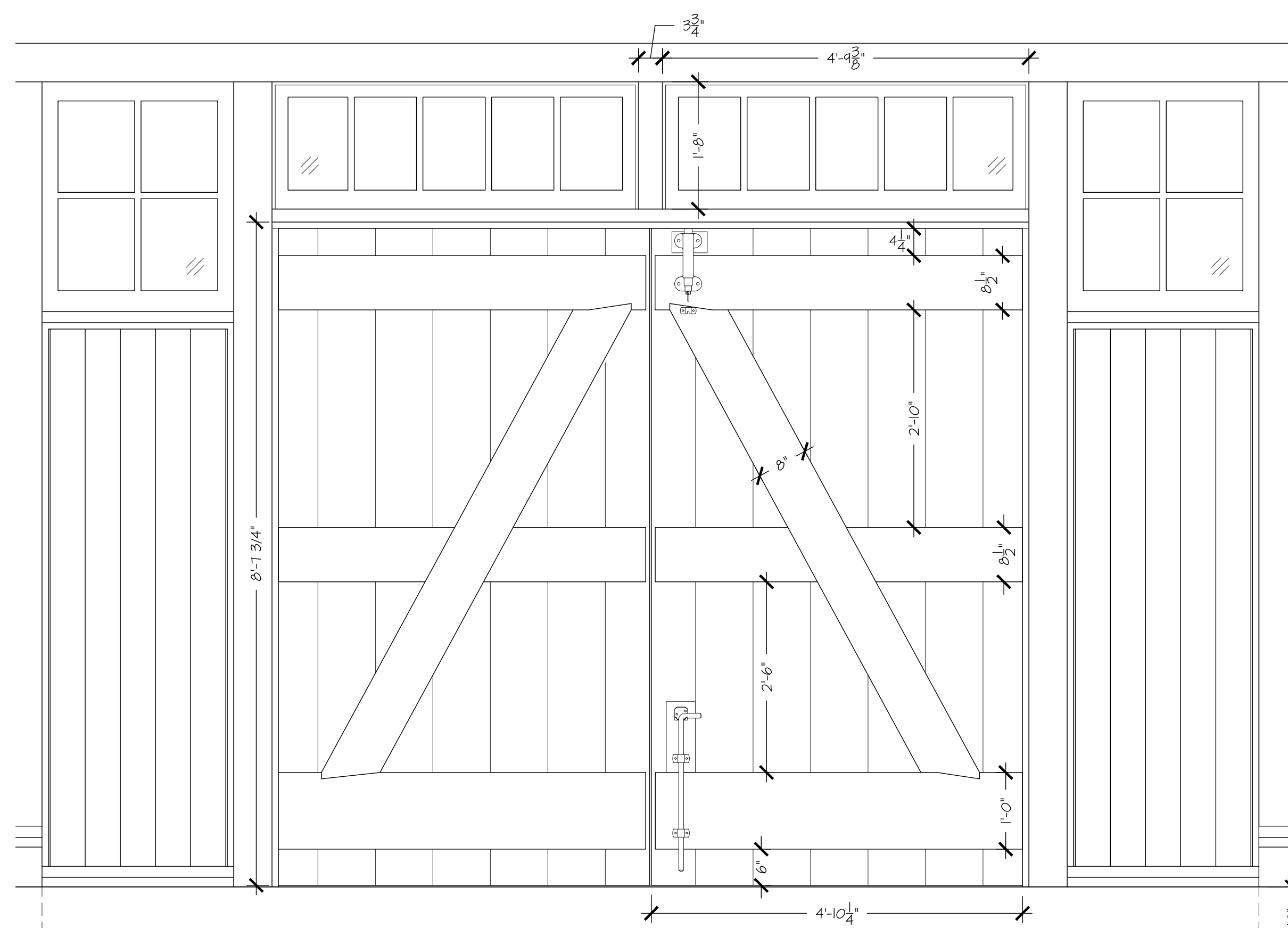
REHABILITATION OF THE  
**FORTY STALL BARN**  
THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

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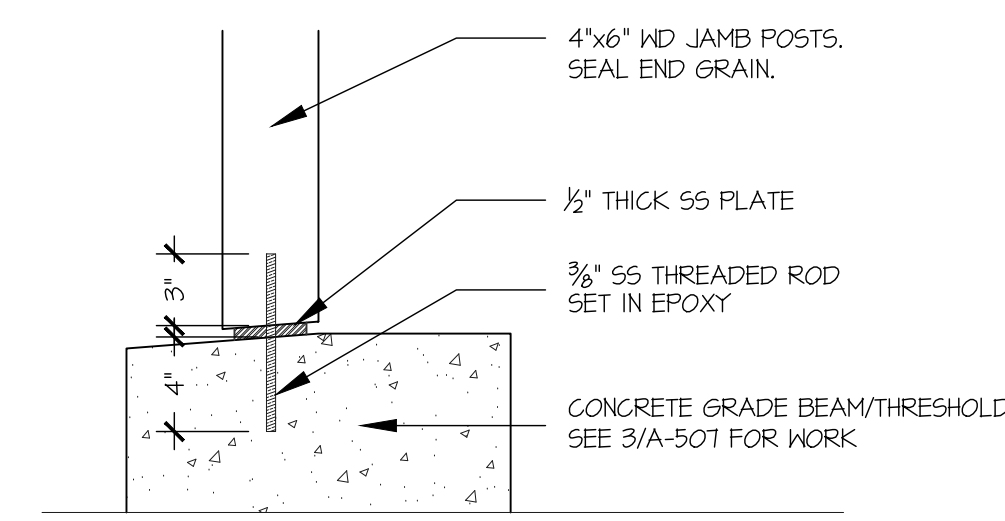
**A-506**



1 ENTRY DOORS EXTERIOR ELEVATION  
 A-507 SCALE: 3/4" = 1'-0"

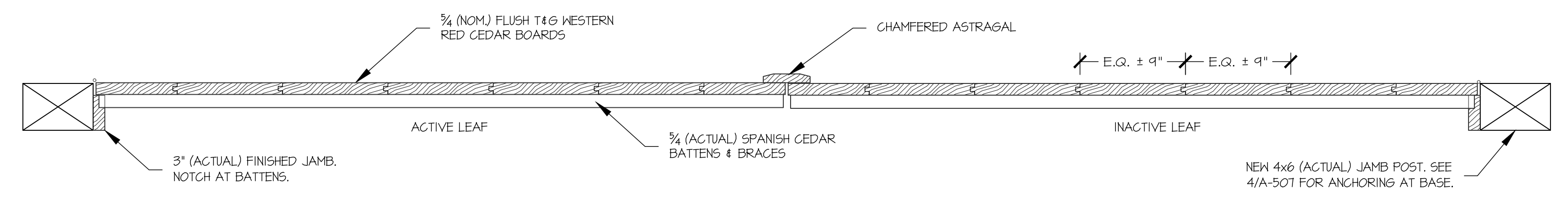


2 ENTRY DOORS INTERIOR ELEVATION  
 A-507 SCALE: 3/4" = 1'-0"

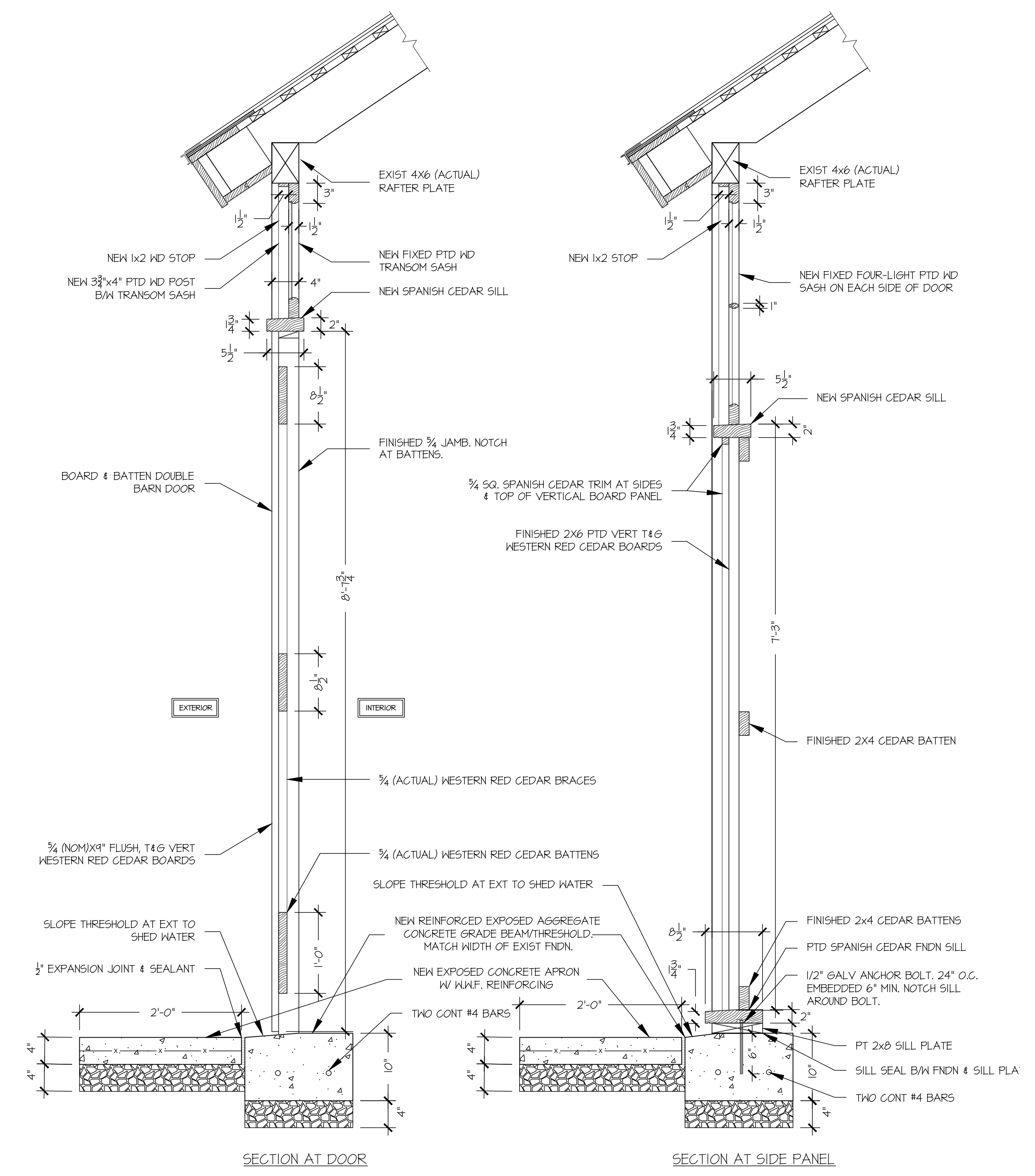


4 JAMB POST ANCHORING DETAIL  
 A-507 SCALE: 1 1/2" = 1'-0"

DOOR SIZES BASED ON EXISTING FRAMING. VERIFY ALL DIMENSIONS.

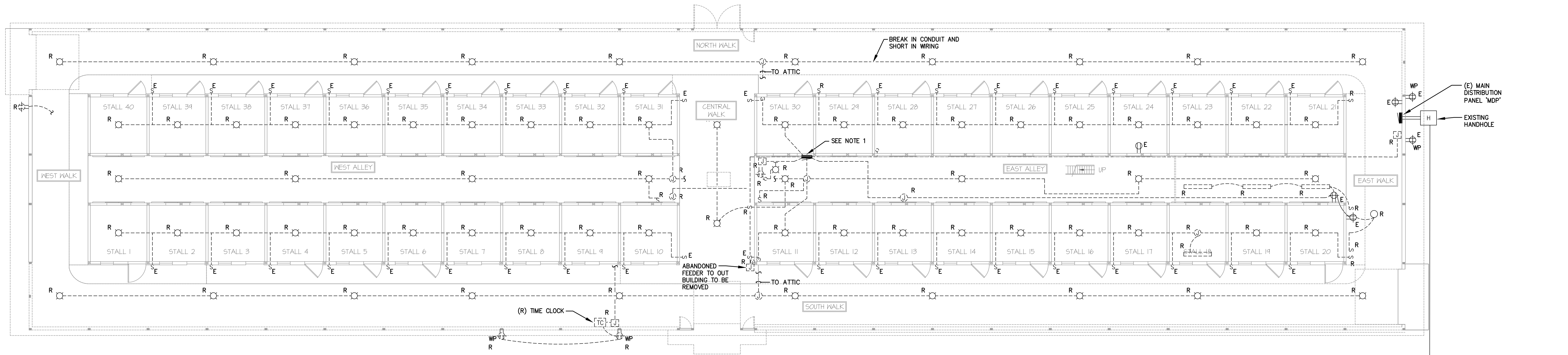


5 ENTRY DOORS PLAN  
 A-507 SCALE: 1 1/2" = 1'-0"



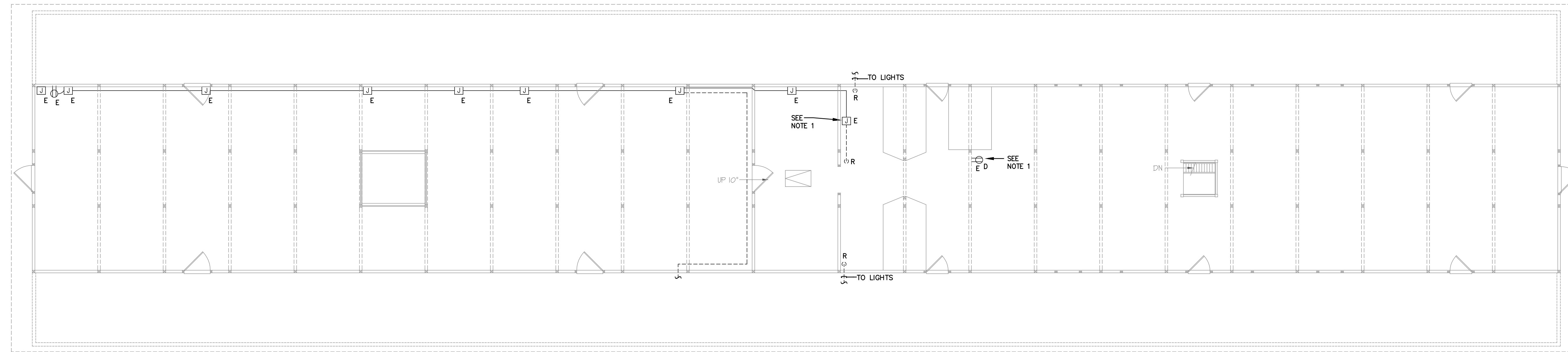
3 ENTRY DOORS/SIDE PANEL SECTIONS  
 A-507 SCALE: 1" = 1'-0"





**1 FIRST FLOOR PLAN - ELECTRICAL DEMOLITION**  
 ED100 SCALE 3/32" = 1'-0"

- NOTES:
- (E) PANEL TO HAVE INTERNAL HARDWARE, WIRING, EQUIPMENT, AND ASSOCIATED CONDUITS REMOVED. PANEL ENCLOSURE TO REMAIN, DO NOT DAMAGE ENCLOSURE.
  - ALL EXISTING FIXTURES, WIRING, AND CONDUITS SHALL BE REMOVED FROM THE FIRST FLOOR.

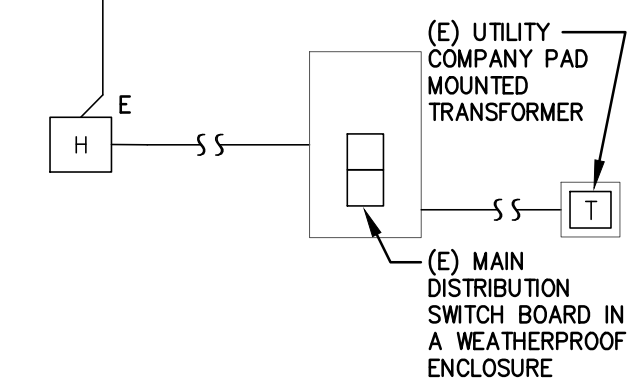


**2 LOFT PLAN - ELECTRICAL DEMOLITION**  
 ED100 SCALE 3/32" = 1'-0"

- NOTE:
- DISCONNECT FROM (E) PANEL TO BE REMOVED AND RECONNECT TO NEW PANEL PP-2 AS SHOWN.

**DEMOLITION NOTES:**

- THESE DEMOLITION PLANS ARE INTENDED TO BE USED AS A GUIDE TO THE CONTRACTOR. ALL DEMOLITION WORK REQUIRED, OR NECESSARY FOR THE INSTALLATION OF NEW WORK OR THE REMOVAL OF EXISTING EQUIPMENT, IS HEREBY INCLUDED, WHETHER SHOWN ON THESE PLANS OR NOT. REFER TO DRAWINGS OF ALL TRADES FOR ADDITIONAL WORK, AND COORDINATE IN THE FIELD.
- THE CONTRACTOR SHALL VERIFY ACTUAL SITE CONDITIONS PRIOR TO SUBMITTING HIS BID. THE CONTRACTOR SHALL INCLUDE ALL DEMOLITION WORK NECESSARY FOR THE EFFECTIVE INSTALLATION AND PERFORMANCE OF NEW SYSTEMS. THE CONTRACTOR SHALL ALSO INCLUDE TEMPORARY REMOVAL AND REINSTALLATION OF EXISTING WORK WHERE NECESSARY. THE OWNER SHALL NOT ACCEPT EXTRA COSTS ASSOCIATED WITH THE DEMOLITION AND/OR TEMPORARY REMOVAL/REINSTALLATION WORK FROM THE CONTRACTOR.
- THIS CONTRACTOR SHALL REMOVE ALL LIGHTING FIXTURES AND ELECTRICAL DEVICES AS INDICATED ON THE DEMOLITION PLANS, OR THAT ARE NO LONGER NEEDED BY THE OWNER. ALL EXISTING WIRING AND CONDUIT WHERE NO LONGER REQUIRED SHALL BE REMOVED BACK TO EXISTING PANEL. ALL EXISTING DISCONNECTED CIRCUITS NOT BEING REUSED SHALL BE TURNED OFF, WIRING AND CONDUITS SHALL BE REMOVED.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY POWER IS BEING PROVIDED TO ALL EXISTING EQUIPMENT REQUIRED TO REMAIN IN SERVICE. RECONNECT ALL DISTURBED FACILITIES WHICH ARE EXISTING TO REMAIN AND PLACE THEM IN OPERATIONAL CONDITION.
- REMOVE ALL WIRING DEVICES FROM WALLS TO BE DEMOLISHED. REMOVE EXISTING LIGHT SWITCHES WHERE NO LONGER REQUIRED. ABANDON BOXES IF THEY ARE IN EXISTING WALLS TO REMAIN. PATCH WALLS OVER ABANDONED BOXES TO MATCH ADJACENT SURFACES.
- REMOVE ABANDONED OUTLET BOXES, SURFACE METAL RACEWAY AND CONDUIT THAT WOULD BE EXPOSED, AND REPAIR DISTURBED SURFACES TO MATCH ADJACENT AREAS.
- MAJOR PIECES OF EQUIPMENT ARE TO BE TURNED OVER TO THE OWNER FOR HIS USE, OR AT THE OWNER'S DISCRETION, REMOVED FROM THE SITE AND DISPOSED OF, IF NO LONGER REQUIRED.
- PATCH ALL WALLS TIGHT AT REMOVALS. MAINTAIN FIRE RATINGS AS REQUIRED.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR THE EXTENT OF WALL FINISHES AND CEILINGS TO BE REPLACED. ALL EXISTING DEVICES TO REMAIN SHALL BE TEMPORARILY DISCONNECTED AND REINSTALLED, WHERE TEMPORARY REMOVAL IS NOT POSSIBLE THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT OF EXISTING EQUIPMENT IN PLACE.



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 consulting engineers  
 P.O. BOX 777 14 WASHINGTON RD.  
 PRINCETON JUNCTION NEW JERSEY 08550

Frank Tindall, P.E.  
 Professional Engineer  
 NJ 38656

ISSUED FOR BID - 7/17/2023

ED-100

REHABILITATION OF THE  
**FORTY STALL BARN**  
 THOMPSON PARK  
 805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

**HMR ARCHITECTS**

631 ALEXANDER ROAD - SUITE 115  
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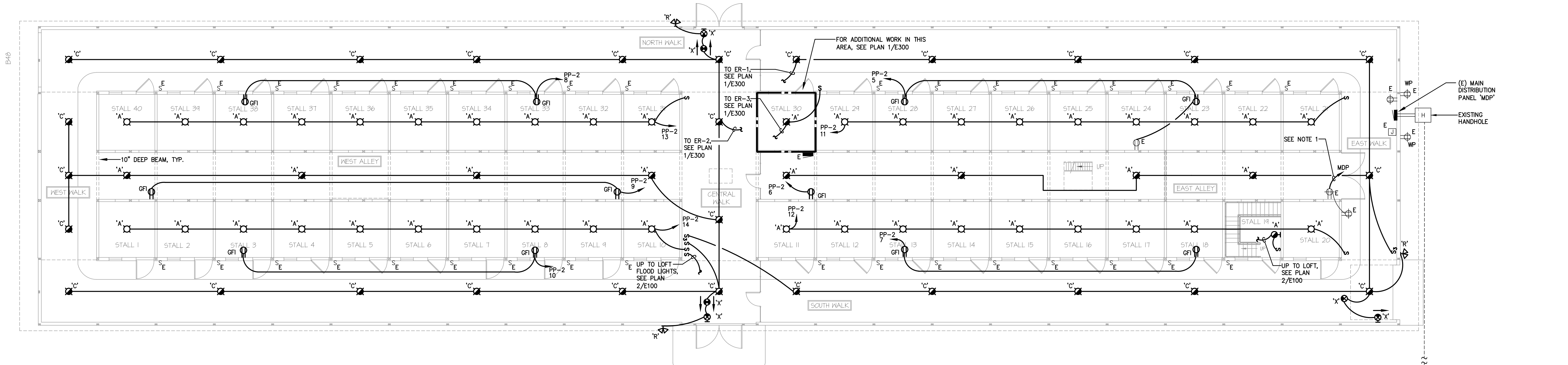
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SCALE: AS NOTED  
 DRAWN BY: AS  
 DATE: 7/14/2023

**ED-100**

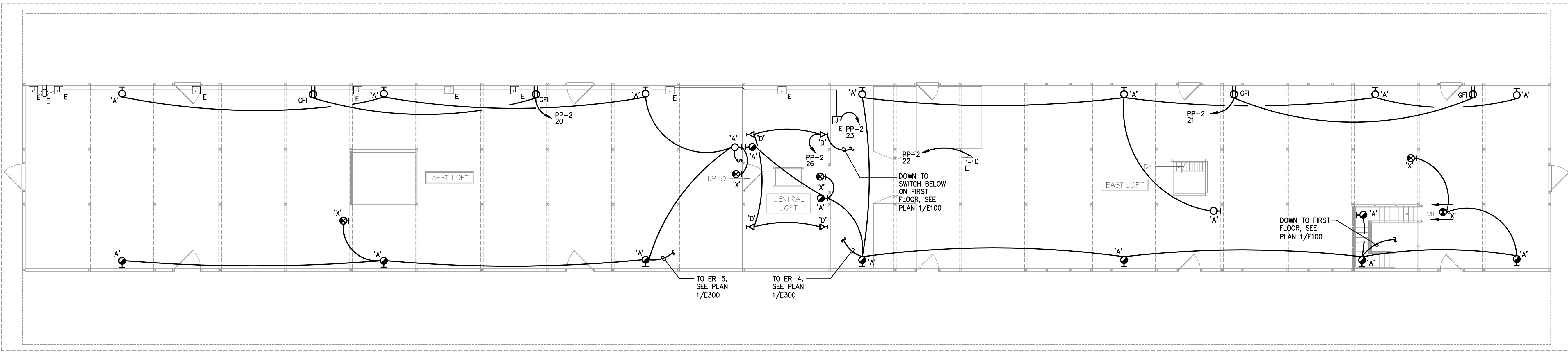
**DEMO PLANS - ELECTRICAL**

DATE PLOTTED: 7/17/2023



**1**  
E100 **FIRST FLOOR PLAN - ELECTRICAL**  
SCALE 3/32" = 1'-0"

- NOTES:
- PROVIDE AND CONNECT TO A NEW 20A/1P CIRCUIT BREAKER IN EXISTING PANEL, CIRCUIT VIA 2 #12 & 1 #12 GRD - 3/4"C
  - ALL CIRCUITS SHALL BE TRACED IN THE FIELD AND LABELED VIA A NEW TYPE WRITTEN CIRCUIT DIRECTORY. ALL WIRING WITHIN THE NEW JUNCTION BOXES SHALL BE PERMANENTLY LABELED INDICATING THE PANEL NAME AND CIRCUIT NUMBER USING A LABEL PRINTER WITH A MINIMUM 1/8" TEXT.
  - CONDUITS SHALL BE PAINTED PRIOR TO INSTALLATION. COLOR TO BE SELECTED BY ARCHITECT. RUN CONDUITS SAME WAY AS EXISTING DEMOLISHED.
  - NEW FIXTURES IN STALLS TO BE INSTALLED ON FLOOR JOIST AT EXISTING LOCATIONS.



**2**  
E100 **LOFT PLAN - ELECTRICAL**  
SCALE 3/32" = 1'-0"

- NOTE:
- CONDUITS SHALL BE PAINTED PRIOR TO INSTALLATION. COLOR TO BE SELECTED BY ARCHITECT.

SCALE: AS NOTED  
DRAWN BY: AS  
DATE: 7/14/2023

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**E-100**

**FLOOR PLANS - ELECTRICAL**

REHABILITATION OF THE  
**FORTY STALL BARN**  
THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

ISSUED FOR BID - 7/17/2023

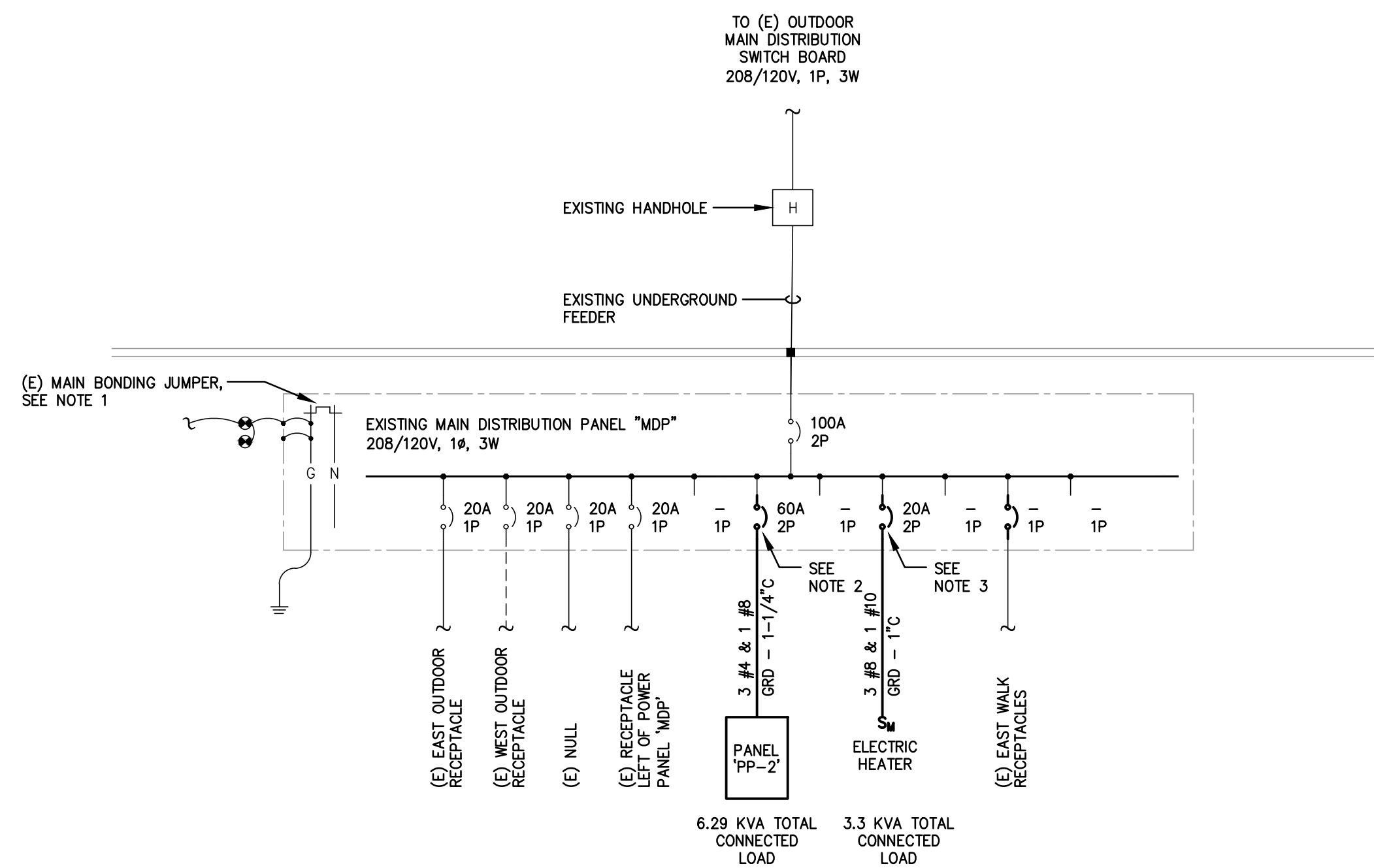
**E-100**

**KELTER & GILLIGO**  
consulting engineers  
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Frank Tindall, P.E.  
Professional Engineer  
NJ 38656

July 12, 2023, 9:05:22 p.m.  
Drawing: 2887\_E100.dwg





**1 PARTIAL SINGLE LINE DIAGRAM**

**E200** SCHEMATIC

**NOTES:**

1. THE CONTRACTOR SHALL VERIFY THAT THERE IS AN EXISTING MAIN BONDING JUMPER BETWEEN THE NEUTRAL AND GROUND BUSES IN EXISTING PANEL 'PP-1'. IF THERE IS NOT AN EXISTING MAIN BONDING JUMPER IN PANEL 'PP-1', PROVIDE AND INSTALL A NEW MAIN BONDING JUMPER.
2. REPLACE EXISTING CIRCUIT BREAKER, TYPE AND AIC RATING TO MATCH EXISTING.
3. PROVIDE NEW CIRCUIT BREAKER IN EXISTING SPACE FOR ELECTRIC UNIT HEATER. TYPE AND AIC RATING OF CIRCUIT BREAKER TO MATCH EXISTING.

PANELBOARD 'PP-2'						
208/120V, 1φ, 3W, S/N, SURFACE, 60A MAIN LUGS ONLY, 10 KAIC						
CKT. NO.	CIRCUIT BREAKER		LOAD		CIRCUIT DESCRIPTION	WIRE & CONDUIT
	AMPS	POLES	KVA	HP		
1	20	1	0.36	-	LIGHTING INVERTER 'EM-1'	2 #12 & 1 #12 GRD - 3/4"
2	20	1	0.56	-	LIGHTING INVERTER 'EM-2'	2 #12 & 1 #12 GRD - 3/4"
3	20	1	0.02	-	LIGHTING INVERTER 'EM-3'	2 #12 & 1 #12 GRD - 3/4"
4	20	1	0.18	-	FIRST FLOOR RECEPTACLE	2 #12 & 1 #12 GRD - 3/4"
5	20	1	0.54	-	FIRST FLOOR RECEPTACLES	2 #12 & 1 #12 GRD - 3/4"
6	20	1	0.18	-	FIRST FLOOR RECEPTACLE	2 #12 & 1 #12 GRD - 3/4"
7	20	1	0.36	-	FIRST FLOOR RECEPTACLES	2 #12 & 1 #12 GRD - 3/4"
8	20	1	0.36	-	FIRST FLOOR RECEPTACLES	2 #12 & 1 #12 GRD - 3/4"
9	20	1	0.36	-	FIRST FLOOR RECEPTACLES	2 #12 & 1 #12 GRD - 3/4"
10	20	1	0.36	-	FIRST FLOOR RECEPTACLES	2 #12 & 1 #12 GRD - 3/4"
11	20	1	0.26	-	STALL LIGHTING	2 #12 & 1 #12 GRD - 3/4"
12	20	1	0.25	-	STALL LIGHTING	2 #12 & 1 #12 GRD - 3/4"
13	20	1	0.28	-	STALL LIGHTING	2 #12 & 1 #12 GRD - 3/4"
14	20	1	0.28	-	STALL LIGHTING	2 #12 & 1 #12 GRD - 3/4"
15	20	1	-	-	SPARE	-
16	20	1	-	-	SPARE	-
17	20	1	-	-	SPARE	-
18	20	1	-	-	SPARE	-
19	20	1	-	-	SPARE	-
20	20	1	0.36	-	LOFT RECEPTACLES	2 #12 & 1 #12 GRD - 3/4"
21	20	1	0.36	-	LOFT RECEPTACLES	2 #12 & 1 #12 GRD - 3/4"
22	20	1	0.18	-	LOFT RECEPTACLE	2 #12 & 1 #12 GRD - 3/4"
23	20	1	0.36	-	LOFT RECEPTACLE	2 #12 & 1 #12 GRD - 3/4"
24	20	1	0.17	-	LIGHTING INVERTER 'EM-4'	2 #12 & 1 #12 GRD - 3/4"
25	20	1	0.34	-	LIGHTING INVERTER 'EM-5'	2 #12 & 1 #12 GRD - 3/4"
26	20	1	0.17	-	LOFT UPLIGHTS	2 #12 & 1 #12 GRD - 3/4"
27	20	1	-	-	SPARE	-
28	-	1	-	-	SPACE	-
29	-	1	-	-	SPACE	-
30	-	1	-	-	SPACE	-
31	-	1	-	-	SPACE	-
32	-	1	-	-	SPACE	-
33	-	1	-	-	SPACE	-
34	-	1	-	-	SPACE	-
35	-	1	-	-	SPACE	-
36	-	1	-	-	SPACE	-
37	-	1	-	-	SPACE	-
38	-	1	-	-	SPACE	-
39	-	1	-	-	SPACE	-
40	-	1	-	-	SPACE	-
41	-	1	-	-	SPACE	-
			6.29	TOTAL CONNECTED LOAD		

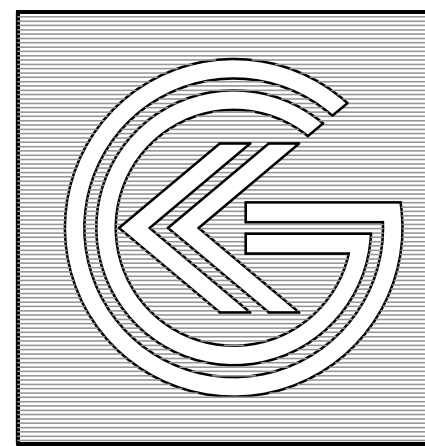
SYMBOL LIST & ABBREVIATIONS	
	LIGHT FIXTURE - SEE SCHEDULE
	EMERGENCY LIGHT FIXTURE - SEE SCHEDULE
	EXIT SIGN - SEE SCHEDULE
	EMERGENCY BATTERY PACK - SEE SCHEDULE
	EMERGENCY RELAY, SEE DETAIL 2/E300
	JUNCTION BOX
	DUPLEX RECEPTACLE, 20A, 125V, 2 POLE, 3 WIRE, GROUNDED D INDICATES DOUBLE DUPLEX RECEPTACLE OFI INDICATES GROUND FAULT INTERRUPTION IG INDICATES ISOLATED GROUND
	DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER HEIGHT
	SINGLE POLE SWITCH, a - b SWITCHING INDICATES CENTER LAMPS ON ONE SWITCH, OUTER LAMPS ON OTHER SWITCH
	THREE WAY SWITCH
	MANUAL MOTOR STARTER
	208/120V PANELBOARD
	WIRE & CONDUIT, CONCEALED IN CEILING OR WALL
	WIRE & CONDUIT, CONCEALED IN SLAB OR BELOW GRADE
	WIRE & CONDUIT, EXPOSED
	HOMERUN TO PANEL, NUMERAL INDICATES CIRCUIT NUMBER
	CONNECTION TO EQUIPMENT
	E, (E)
	R (R)
	WP

EMERGENCY LIGHTING INVERTER 'EM-1'						
120V, 1φ, 3W, S/N WITH (5) 20A INPUT CIRCUIT BREAKER, RATE TO SUPPLY 3.0 KW FOR 90 MINUTES						
CKT. NO.	NORMALLY ON OUTPUT BREAKER		LOAD		CIRCUIT DESCRIPTION	WIRE & CONDUIT
	AMPS	POLES	KVA	HP		
1	20	1	0.36	-	EAST SIDE LIGHTING	2 #12 & 1 #12 GRD - 3/4"
2	20	1	0.56	-	WEST SIDE LIGHTING	2 #12 & 1 #12 GRD - 3/4"
3	20	1	0.02	-	ELECTRICAL ROOM	2 #12 & 1 #12 GRD - 3/4"
4	20	1	0.17	-	WEST SIDE LOFT LIGHTING	2 #12 & 1 #12 GRD - 3/4"
5	20	1	0.34	-	EAST SIDE LOFT LIGHTING	2 #12 & 1 #12 GRD - 3/4"
			1.45	TOTAL CONNECTED LOAD		

LIGHTING FIXTURE SCHEDULE					
ID	LAMPS	MANUF.	CAT. NO.	MOUNTING	DESCRIPTION
A	24W LED A21 SPX 2700	SATCO	80-1468	SURFACE	KEYLESS GLAZED PORCELAIN CEILING/WALL RECEPTACLE LED A21 LIGHT BULB, SOFT WHITE, 2700K, 120V INPUT
C	24W LED A21 SPX 2700	BASELINE	P1-49	PENDANT	VAPOR JAR, GALVANIZED FINISH, GALVANIZED CAST ALUMINUM GUARD, NO GLASS, LED A21 LIGHT BULB, SOFT WHITE, 2700K, 120V INPUT
D	28W LED SPX 30	LUMARK	TCRL-BK-7030	WALL	TRACER FLOODLIGHT, HEAVY DUTY DIE-CAST ALUMINUM HOUSING, 120V-277V INPUT, 0-10V DIMMING
R	(2)-12.8W LED	HALO ALL PRO	TGS2S402RRB	WALL	WEATHERPROOF DUAL HEAD FOR USE WITH EMERGENCY BATTERY INVERTER, COLOR SELECTED BY ARCHITECT, 120V INPUT
X	LED	EMERGI-LITE	WW-DXN-12-R	WALL OR CEILING	DIE-CAST ALUMINUM EXIT SIGN, STENCIL FACE, 6" RED LETTERS, 90 MIN EMERG. BATTERY PACK, WHITE BODY & FACE, 120V

**LIGHTING FIXTURE NOTES:**

1. ALL FIXTURES SHALL COMPLY WITH ASHRAE/IESNA 90.1 2016 LIGHTING EFFICACY STANDARDS FOR NEW COMMERCIAL BUILDINGS.
2. CONNECT ALL EXIT SIGNS AND EMERGENCY LIGHTING AHEAD OF ALL SWITCHING.
3. VERIFY EXACT LOCATION OF FIXTURES IN FIELD WITH ARCHITECT AND OWNER PRIOR TO ROUGH-IN.



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Frank Tindall, P.E.  
Professional Engineer  
NJ 38656

SCALE: AS NOTED  
DRAWN BY: AS  
DATE: 7/14/2023

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136 11TH ST. PISCATAWAY, NJ 08854  
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**E-200**

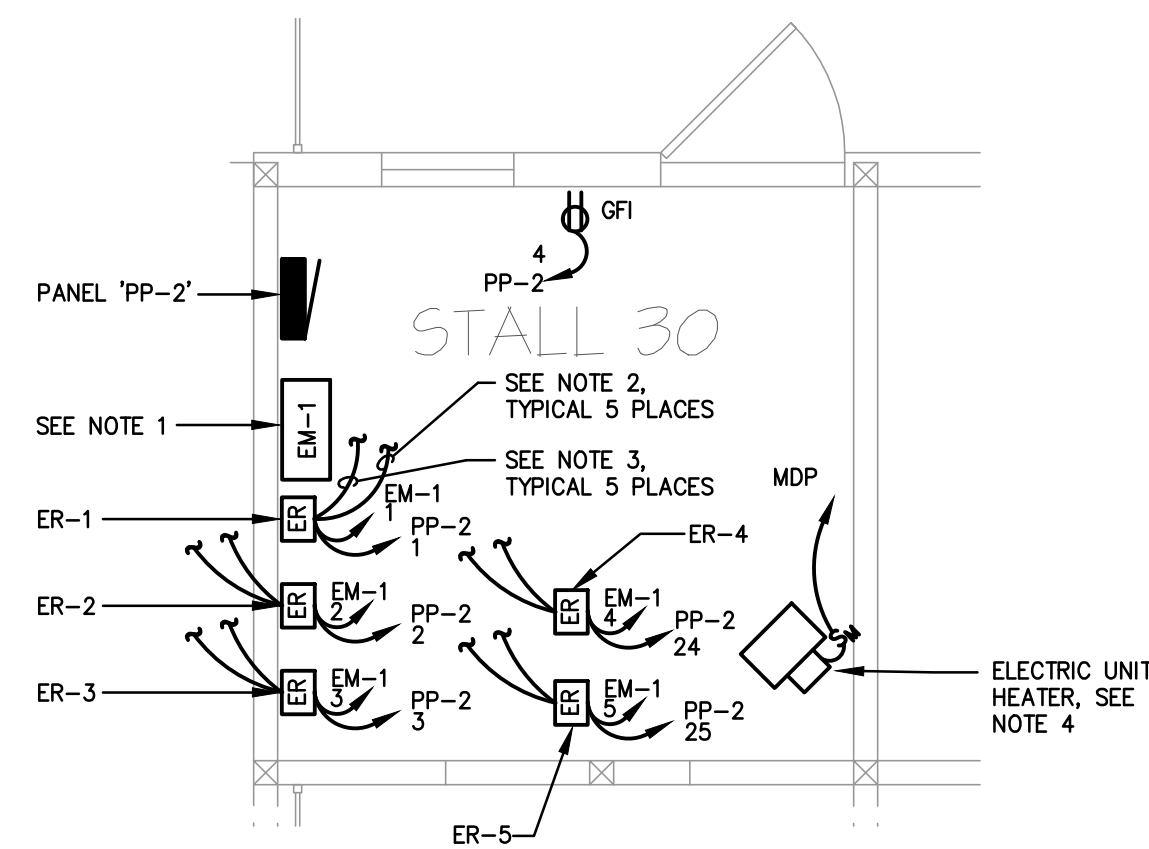
**DIAGRAMS - ELECTRICAL**

REHABILITATION OF THE  
**FORTY STALL BARN**  
THOMPSON PARK  
805 NEWMAN SPRINGS ROAD, LINCROFT, NJ 07738

ISSUED FOR BID - 7/17/2023

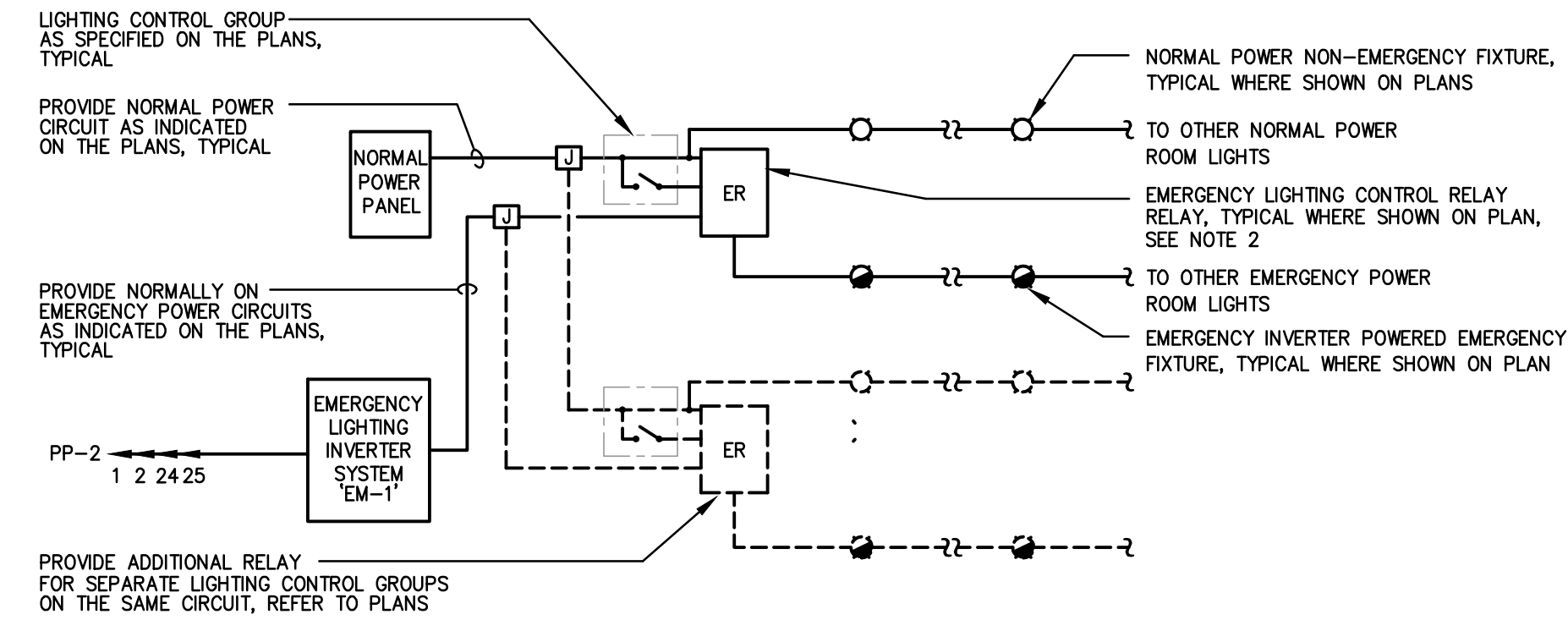
July 12, 2023, 9:05:57 p.m.  
Drawing: 2887\_ELDWG

**E-200**



**1** PARTIAL FIRST FLOOR PLAN - ELECTRICAL  
**E300** SCALE 1/4" = 1'-0"

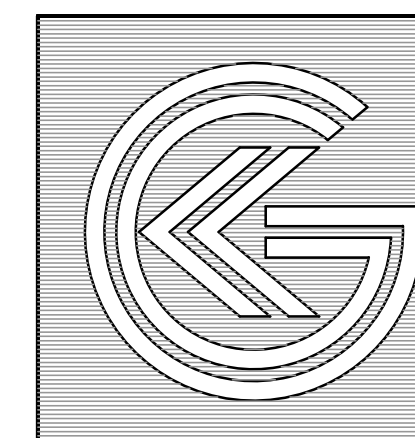
- NOTES:
- EMERGENCY LIGHTING INVERTER, SEE DETAIL 2/E300.
  - TO LIGHT FIXTURE AS SHOWN ON PLAN 1/E100 OR 2/E100.
  - TO LIGHT SWITCH AS SHOWN ON PLAN 1/E100 OR 2/E100.
  - PROVIDE AND INSTALL A 3.3 KW ELECTRIC UNIT HEATER, MARKEL 5100 SERIES OR APPROVED EQUAL. PROVIDE WITH INTEGRAL THERMOSTAT, LOUVER DIFFUSER, OVERHEAT PROTECTION, AND HORIZONTAL MOUNTING KIT AND HARDWARE.



**2** EMERGENCY LIGHTING INVERTER WIRING DIAGRAM  
**E300** SCHEMATIC

- NOTES:
- EMERGENCY LIGHTING INVERTER, MYERS MODEL ILLUMINATOR E, 3.0 KVA OR APPROVED EQUAL. PROVIDE WITH OPTIONAL FLOOR MOUNTS.
  - PROVIDE A MYERS EMERGENCY LIGHTING CONTROL RELAY MODEL NO. RLY-SW-2 WHERE SHOWN ON PLANS FOR NORMAL SWITCHING APPLICATIONS.

July 12, 2023, 9:03:31 p.m.  
 Drawing: 2887 ELDWG



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ISSUED FOR BID - 7/7/2023

**E-300**

REHABILITATION OF THE  
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 THOMPSON PARK  
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SCALE: AS NOTED  
 DRAWN BY: AS  
 DATE: 7/14/2023

**DETAILS - ELECTRICAL**

**E-300**