

DRAWING LIST

GENERAL
GN-000 GENERAL NOTES

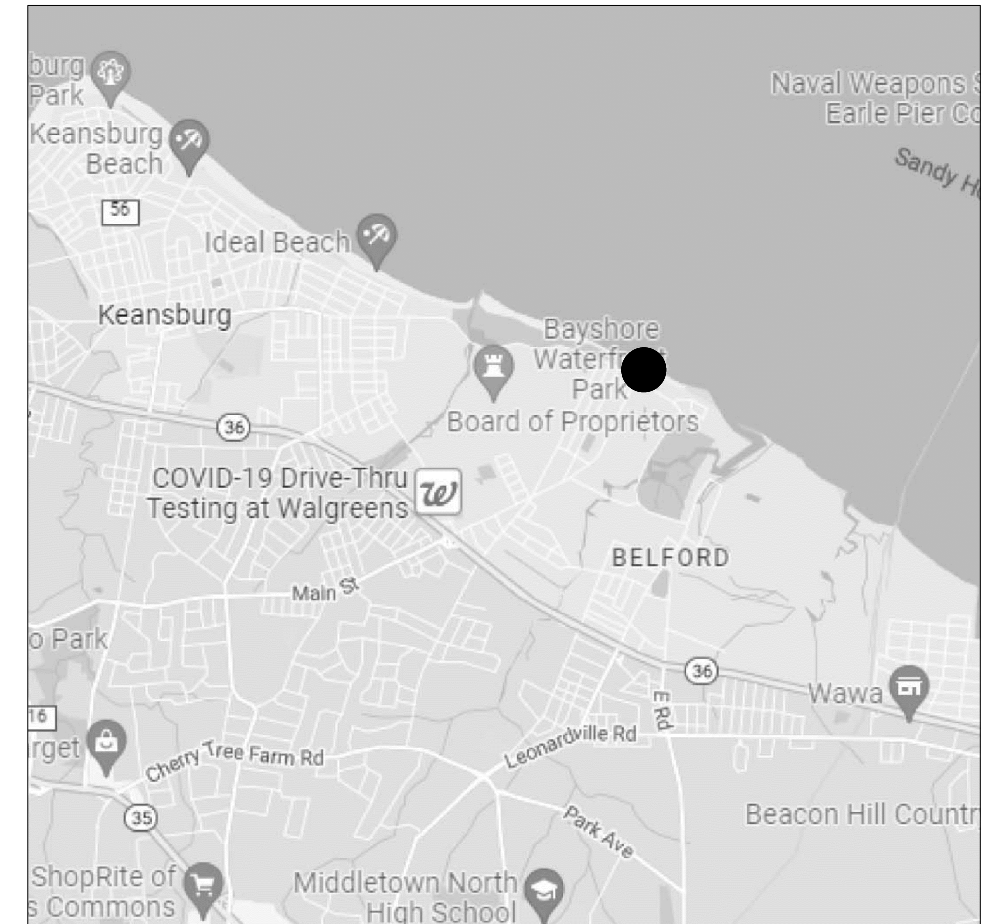
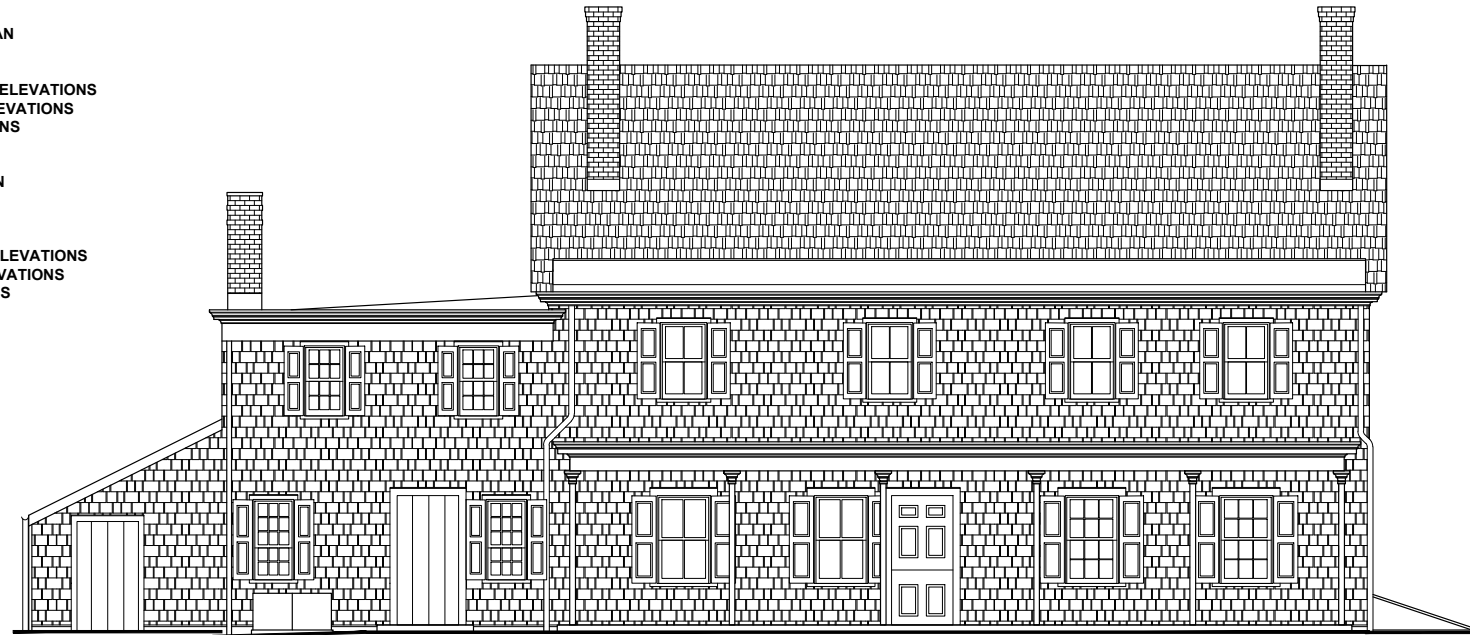
ARCHITECTURAL

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CONSTRUCTION DOCUMENTS

REPAIRS TO THE SEABROOK WILSON HOUSE (BLDG #2667)

**BAYSHORE WATERFRONT PARK
719 PORT MONMOUTH ROAD**

**MONMOUTH COUNTY, NEW JERSEY
PORT MONMOUTH, NEW JERSEY**

Prepared for:



**Monmouth County Park System
805 Newman Springs Road
Lincroft, New Jersey 07738**

PS #30-22

Prepared by:

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39 West 37th Street, Floor 12A
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Date:

4 AUGUST 2022

ARCHITECTURAL ABBREVIATIONS

&	AND	JT.	JOINT
@	AT		
ε	CENTER LINE	K.D.A.T.	KILN DRIED AFTER TREATMENT
%	PERCENT	K.D.B.T.	KILN DRIED BEFORE TREATMENT
#	POUND OR NUMBER		
+/-	PLUS OR MINUS	LAM.	LAMINATE
		L.F.	LINEAR FEET
A/C	AIR CONDITIONER	L.P.	LOW POINT
A.D.	AREA DRAIN	LT.	LIGHT
ADJ.	ADJUSTABLE		
A.F.F.	ABOVE FINISH FLOOR	MANUF.	MANUFACTURER
AGGR.	AGGREGATE	MAT.	MATERIAL
ALUM.	ALUMINUM	MAX.	MAXIMUM
ALT.	ALTERNATE	MECH.	MECHANICAL
APPROX.	APPROXIMATELY	MEMB.	MEMBRANE
ARCH.	ARCHITECTURAL	M.H.	MAN HOLE
		MIN.	MINIMUM
		MISC.	MISCELLANEOUS
BD.	BOARD	MINTD.	MOUNTED
BLDG.	BUILDING	M.R.G.B.	MOISTURE RESISTANT GYP. BD.
BLKG.	BLOCKING	M.O.	MASONRY OPENING
BOT.	BOTTOM	M.P.	METAL PANEL
BTWN.	BETWEEN	MTD.	MOUNTED
		MTL.	METAL
C.J.	CONTROL JOINT		
CLG.	CEILING	N.	NORTH
CLG.	CAULKING	N.A.	NOT APPLICABLE
CLR.	CLEAR	N.I.C.	NOT IN CONTRACT
C.M.U.	CONCRETE MASONRY UNIT	NO.	NUMBER
C.O.	CLEAN OUT	NOM.	NOMINAL
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	NUM.	NUMBER
CONSTR.	CONSTRUCTION		
CONT.	CONTINUOUS	O.A.	OVERALL
CTR.	CENTER	OBSC.	OBSOLETE
		O.C.	ON CENTER
		O.C.E.W.	ON CENTER EACH WAY
DBL.	DOUBLE	O.D.	OUTSIDE DIAMETER
DEPT.	DEPARTMENT	OPNG.	OPENING
DET.	DETAIL	OPP.	OPPOSITE
DIA.	DIAMETER	OPP.H.	OPPOSITE HAND
DIM.	DIMENSION		
DN.	DOWN		
DR.	DOOR	PART.	PARTITION
D.S.	DOWNSPOUT	PLAST.	PLASTER
DWGS.	DRAWINGS	PLYWD.	PLYWOOD
		P.P.	PAINTED PLASTER
		PR.	PAIR
E.	EAST	PROG.	PROGRAM
EA.	EACH	PTD.	PAINTED
E.J.	EXPANSION JOINT		
ELEV.	ELEVATION OR ELEVATOR		
ELEC.	ELECTRICAL	R.	RISER
EMER.	EMERGENCY	RAD.	RADIUS
ENCL.	ENCLOSURE	R.C.P.	REFLECTED CEILING PLAN
E.P.	ELECTRICAL PANEL	R.D.	ROOF DRAIN
EQ.	EQUAL	REF.	REFERENCE
EQUIP.	EQUIPMENT	REINF.	REINFORCEMENT
EXIST.	EXISTING	REQD.	REQUIRED
EXP.	EXPOSED	REV.	REVISE
EXPAN.	EXPANSION	RM.	ROOM
EXT.	EXTERIOR	R.O.	ROUGH OPENING
		S.	SOUTH
F.A.	FIRE ALARM	S.C.	SELF-CLOSING
F.D.	FLOOR DRAIN	SCHED.	SCHEDULE
F.H.	FIRE HYDRANT	SECT.	SECTION
F.G.	FINISH GRADE	S.F.	SQUARE FEET
FIN.	FINISH	SHT.	SHEET
FL.	FLOOR	SIM.	SIMILAR
FLASH.	FLASHING	SPEC.	SPECIFICATION
FLR.	FLOOR	SQ.	SQUARE
FLUOR.	FLUORESCENT	S.S.	STAINLESS STEEL
F.O.B.	FACE OF BUILDING	STD.	STANDARD
F.O.C.	FACE OF CONCRETE	STL.	STEEL
F.P.S.C.	FIRE PROTECTION, SELF-CLOSE	STRUC.	STRUCTURAL
FT.	FOOT OR FEET	SUSP.	SUSPENDED
FTG.	FOOTING	SYM.	SYMMETRICAL
FUR.	FURRING		
		T.	TREAD
GA.	GAUGE	T.C.S.	TERNE COATED STAINLESS STEEL
GALV.	GALVANIZED	TEL.	TELEPHONE
G.B.	GYPSUM BOARD	T&G.	TONGUE & GROOVE
GL.	GLASS	THK.	THICK
GR.	GRADE	TKT.	TICKET
GRND.	GROUND	T.O.	TOP OF
GYP.	GYPSUM	TYP.	TYPICAL
		U.O.N.	UNLESS OTHERWISE NOTED
H.	HIGH OR HEIGHT		
H.B.	HOSE BIB		
HDWR.	HARDWARE	VERT.	VERTICAL
H.M.	HOLLOW METAL	VEST.	VESTIBULE
HORIZ.	HORIZONTAL	V.C.T.	VINYL COMPOSITION TILE
H.P.	HIGH POINT		
HR.	HOUR	W.	WEST
HSE.	HOUSE	W.	WITH
HT.	HEIGHT	W.C.	WATER CLOSET
		WD.	WOOD
		WIN.	WINDOW
		W/O.	WITHOUT
I.D.	INSIDE DIAMETER		
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		

BUILDING DEPARTMENT NOTES

- ALL MATERIALS AND BUILDING COMPONENTS, REGARDLESS OF APPARENT CONDITION, ARE TO BE TREATED WITH THE UTMOST CARE.
- THE CONTRACTOR TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS AND CLEARANCES IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY APPARENT CONFLICTING CONDITIONS OR DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- DIMENSIONS ON THE DRAWINGS ARE FOR DESIGN ONLY. CONTRACTOR IS RESPONSIBLE FOR FIELD CHECKING ALL MEASUREMENTS BEFORE COMMENCEMENT OF WORK. CONTRACTOR IS NOT TO SCALE DRAWINGS FOR DIMENSIONS EXCEPT WHERE DRAWINGS ARE INDICATED AS FULL SIZE.
- INFORMATION IN THE CONSTRUCTION DOCUMENTS WHICH MAY APPEAR CONFLICTING, UNCLEAR, OR SUBJECT TO INTERPRETATION INCLUDING BUT NOT LIMITED TO DAILY SITE CLEAN-UP.
- NO WORK IS TO BE PERFORMED BEYOND THE PROJECT LIMIT LINES EXCEPT WHERE INDICATED OTHERWISE. NO WORK IS TO BE PERFORMED BEYOND THE PROPERTY LINES.
- AT LEAST 72-HOUR WRITTEN NOTICE TO BE GIVEN TO THE OWNER AND ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE SITE THROUGHOUT THE DURATION OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO DAILY SITE CLEAN-UP.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND TESTS PRIOR TO THE COMMENCEMENT OF THE WORK, INCLUDING, BUT NOT LIMITED TO, BUILDING DEPARTMENT PERMITS AND ANY NECESSARY HAZARDOUS MATERIALS TESTING.
- ALL BUILDING EXITS TO BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. EXIT DOORS TO BE READILY OPERABLE AT ALL TIMES FROM THE EGRESS SIDE.

CONSTRUCTION SAFETY NOTES

- NORMAL WORK HOURS ARE DEFINED IN THE DIVISION 01 SPECIFICATIONS.
- ALL DOORS ARE TO REMAIN CLEAR AND UN-OBSTRUCTED FOR THE DURATION OF THE PROJECT - PROVIDE ADEQUATE PROTECTION FROM ADJACENT CONSTRUCTION.
- ALL DEMOLITION ACTIVITIES ARE TO BE COORDINATED WITH THE OWNER AND ARCHITECT AT LEAST 72 HOURS IN ADVANCE.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30 PSF	110 MPH	C	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	7 DEG. F	YES	

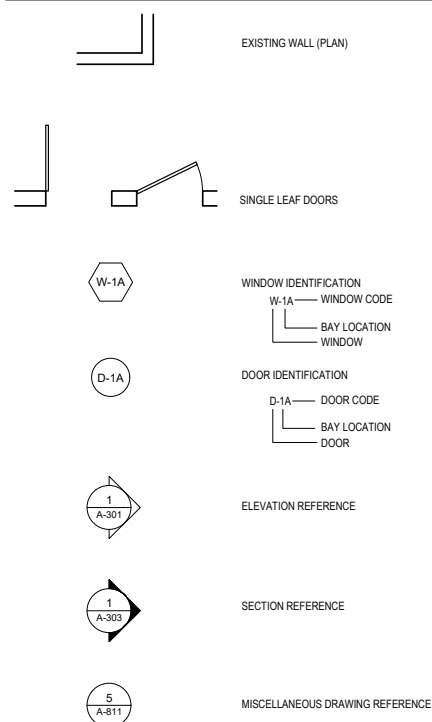
PROJECT INTENT

- IT IS THE INTENT OF THE PROJECT TO COMPLETE WOOD SHINGLE ROOFING REPLACEMENT, REPAIRS TO INTERIOR PLASTER FINISHES, INSTALL NEW BAFFLES AND INSULATION AT THE ATTIC LEVEL, AND MAKE SELECTIVE REPAIRS TO NORTH FACADE WINDOWS. ALL WORK IS TO BE REPLICATE THE ORIGINAL UNLESS NOTED OTHERWISE.

GENERAL CONSTRUCTION NOTES

- ALL HISTORIC COMPONENTS TO BE REINSTALLED ARE TO BE LABELED AS TO THEIR ORIGINAL LOCATION AND STORED IN A SECURE LOCATION.
- PRIOR TO ANY REMOVALS A LEGEND DRAWING IS TO BE PREPARED IDENTIFYING THE LABELING SYSTEM, LOCATIONS OF ALL ITEMS TO BE REMOVED FOR LATER REINSTALLATION, AND LISTING OF STORAGE LOCATIONS FOR THE ITEMS.
- AN APPROPRIATE SEPARATION MUST BE PROVIDED AT THE JUNCTURE OF ALL DISSIMILAR METALS
- SALVAGED MATERIALS ARE TO BE PROTECTED AND STORED PER THE DIRECTION OF THE MCPS.

ARCHITECTURAL LEGEND



BUILDING CODE NOTES
 Rehabilitation Subcode, NJAC Title 5:23, 2011 Uniform Construction Code / 2018 IBC NJ Edition

OCCUPANCY CLASSIFICATION (CHAPTER 3, SECTION 302.1) GROUP B - BUSINESS

MAXIMUM BUILDING OCCUPANCY 49 PERSONS.

MAX OCCUPANCY SIGNAGE INSTALLED AT ALL ENTRY DOORS.

GENERAL BUILDING HEIGHTS & AREAS (TABLE 503)	
FIRST FLOOR	1,782 SF (PER 503.1.3) CLASS V-B CONSTRUCTION
SECOND FLOOR	1,577 SF (PER 503.1.3) CLASS V-B CONSTRUCTION
	3,359 SF-9,000 SF ALLOWED COMPLIES WITH MAXIMUM FLOOR AREA

BUILDING HEIGHT: 2 STORIES ACTUAL 2 STORIES ALLOWED, CLASS V CONSTRUCTION COMPLIES WITH BUILDING HEIGHT REQUIREMENT

FIRE-RESISTANCE-RATED CONSTRUCTION
 1 HOUR FIRE-RATED SEPARATIONS REQUIRED BETWEEN DIFFERENT OCCUPANCIES IN GROUP B BUILDING IS FULLY SPRINKLERED

FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601)	
STRUCTURAL FRAME	0 HRS CLASS V-B CONSTRUCTION
BEARING WALLS	0 HRS CLASS V-B CONSTRUCTION
NON-BEARING WALLS/PARTITIONS	0 HRS CLASS V-B CONSTRUCTION
FLOOR CONSTRUCTION	0 HRS CLASS V-B CONSTRUCTION
ROOF CONSTRUCTION	0 HRS CLASS V-B CONSTRUCTION
	COMPLIES WITH FIRE RESISTANCE RATING REQUIREMENTS

MEANS OF EGRESS (CHAPTER 10)
 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (TABLE 1004.1.1):

LOCATION:	FLOOR AREA ALLOWANCE:	30 SF NET	
FIRST FLOOR:	TOTAL BUILDING SF:	3,359 SF	111.9 SF/OCCUPANT
	OCCUPIABLE BUILDING AREAS:	3,359 SF	111.9 SF/OCCUPANT
			49 OCCUPANTS ACTUAL
			COMPLIES WITH MAX. FLOOR AREA ALLOWANCE REQUIREMENTS

MAXIMUM FLOOR AREA PER OCCUPANT (TABLE 1005.1):		
LOCATION:	STAIRS:	OTHER EGRESS COMPONENTS:
FIRST FLOOR:	MIN REQ: 0.3IN/OCCUPANT	MIN REQ: 0.2IN/OCCUPANT
	ACTUAL: N/A - AT GRADE	ACTUAL: 108 IN/540 ALLOWED
SECOND FLOOR:	MIN REQ: 0.3IN/OCCUPANT	MIN REQ: 0.2IN/OCCUPANT
	ACTUAL: 32.8IN/109 ALLOWED	ACTUAL: 108 IN/540 ALLOWED
	MEANS OF EGRESS:	(3) 3'-0" DOORS
		195 OCCUPANTS
		195 OCCUPANTS MAX ALLOWED
		49 OCCUPANTS ACTUAL
		COMPLIES WITH MAX FLOOR AREA PER OCCUPANT REQUIREMENTS

MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD (TABLE 1019.1):

LOCATION:	PROPOSED OCCUPANT LOAD:	49
FIRST FLOOR:	MIN. NUMBER OF EXITS REQUIRED FOR 1-500 OCCUPANTS:	2
	NUMBER OF EXITS REQUIRED PER REHAB SUB-CODE:	2
	NUMBER OF EXITS PROVIDED:	2
		COMPLIES WITH MIN. NUMBER OF EXIST REQUIREMENTS

CORRIDOR WITH REQUIREMENTS:
 LOCATION:
 FIRST FLOOR: MIN. CORRIDOR WIDTH/50 OCCUPANTS OR LESS: 36" MIN
 ACTUAL CORRIDOR WIDTH: 36"
 COMPLIES WITH MIN. CORRIDOR WIDTH REQUIREMENTS

MAXIMUM TRAVEL DISTANCE (TABLE 1016.1):
 LOCATION:
 FIRST FLOOR: MAX TRAVEL DISTANCE, PER IBC-NJ: 100'-0"
 MAX. TRAVEL DISTANCE TO EXTERIOR: 36'-8"
 EXITS COMPLY WITH REQUIRED MAX. TRAVEL DISTANCES
 SECOND FLOOR: MAX TRAVEL DISTANCE, PER IBC-NJ: 100'-0"
 MAX. TRAVEL DISTANCE TO EXTERIOR: 73'-11"
 EXITS COMPLY WITH REQUIRED MAX. TRAVEL DISTANCES

3 EXITS ARE PROVIDED WITH A TRAVEL DISTANCE LESS THAN 100'-0", PER 5.23-6.17 OF THE REHAB SUB-CODE. THE TRAVEL DISTANCE IS IN COMPLIANCE WITH THE REHAB SUB-CODE.

EXIT ROUTES ARE EQUIPPED WITH EMERGENCY LIGHTING.
 EXITS ARE EQUIPPED WITH EXIT SIGNAGE.
 BUILDING IS FULLY SPRINKLERED

ACCESSIBILITY (CHAPTER 11)
 BUILDING TO BE ACCESSIBLE TO THE PHYSICALLY HANDICAPPED UNDER REQUIREMENTS OF FEDERAL AMERICANS WITH DISABILITIES ACT OF 1990 (ADA) AND NJ UCC BUILDING CODE CHAPTER 11.

W:\JOBS\549-02 - Seabrook Wilson House - MCPS - Repairs\ACAD\CN-000 General Notes.dwg

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REPAIRS TO THE SEABROOK WILSON HOUSE
 Bayshore Waterfront Park,
 Port Monmouth NJ (Bldg #2667/PS#30-22)
 Monmouth County Park System
 805 Newman Springs Road, Lincroft, NJ

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND THE ARCHITECT NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE CONSTRUCTION

DO NOT SCALE DRAWINGS.
 JHPA Job No. 549-02

Drawing Title

GENERAL NOTES

Date: 4 August 2022

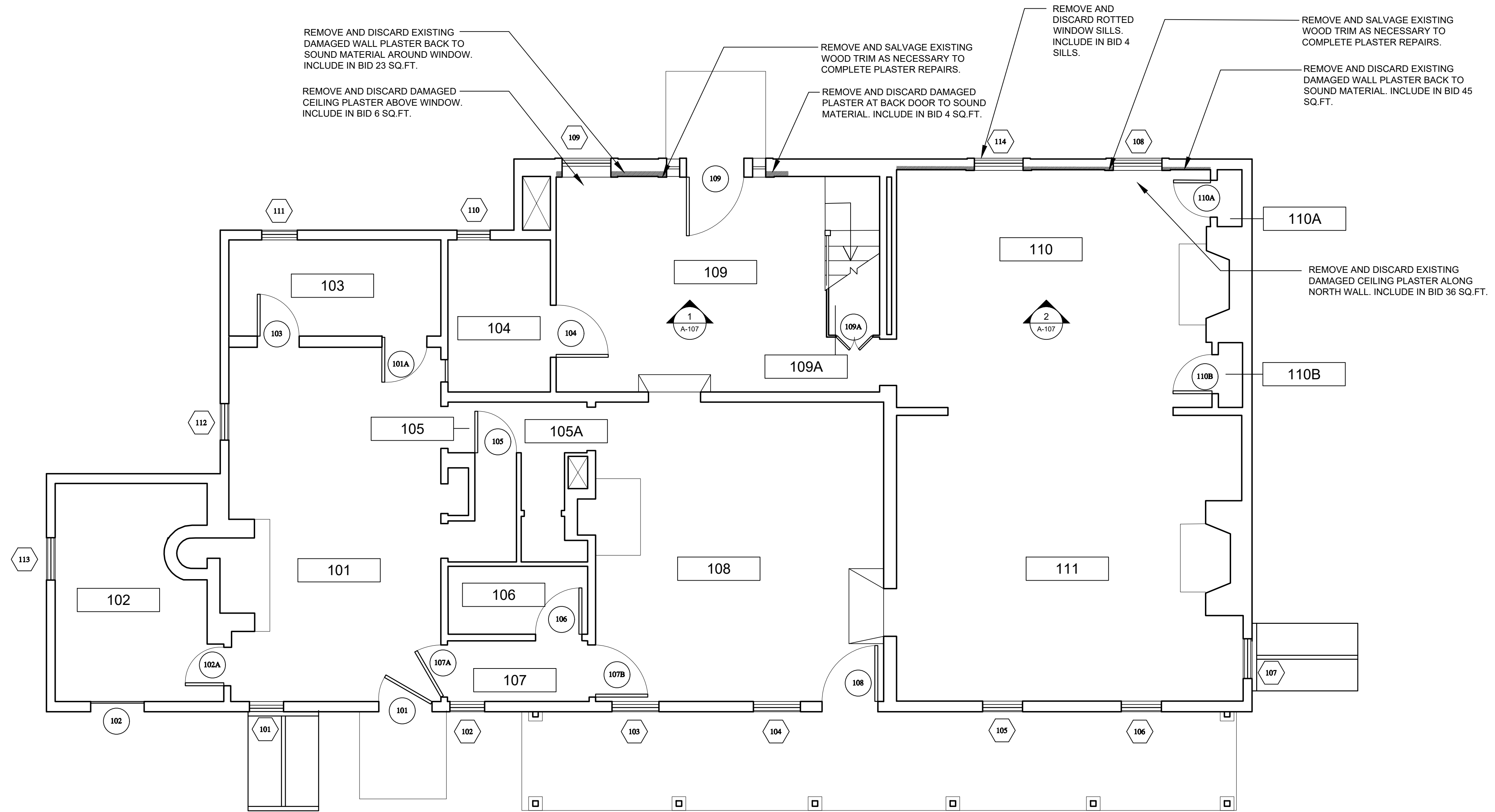
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Drawing No.

GN-001

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4. THE CONTRACTOR IS RESPONSIBLE FOR DAILY SITE CLEAN-UP.
5. CONTRACTOR IS RESPONSIBLE FOR FULL WEATHERTIGHTNESS DURING THE ENTIRE CONSTRUCTION PERIOD



1 DEMOLITION FIRST FLOOR PLAN
1/4" = 1'-0"

W:\JOB5\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\0-101 Demolition First Floor Plan.dwg

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JHPA Job No. 549-02

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DEMOLITION FIRST FLOOR PLAN

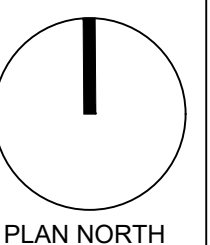
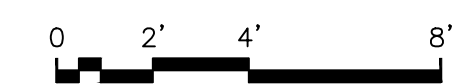
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Revisions

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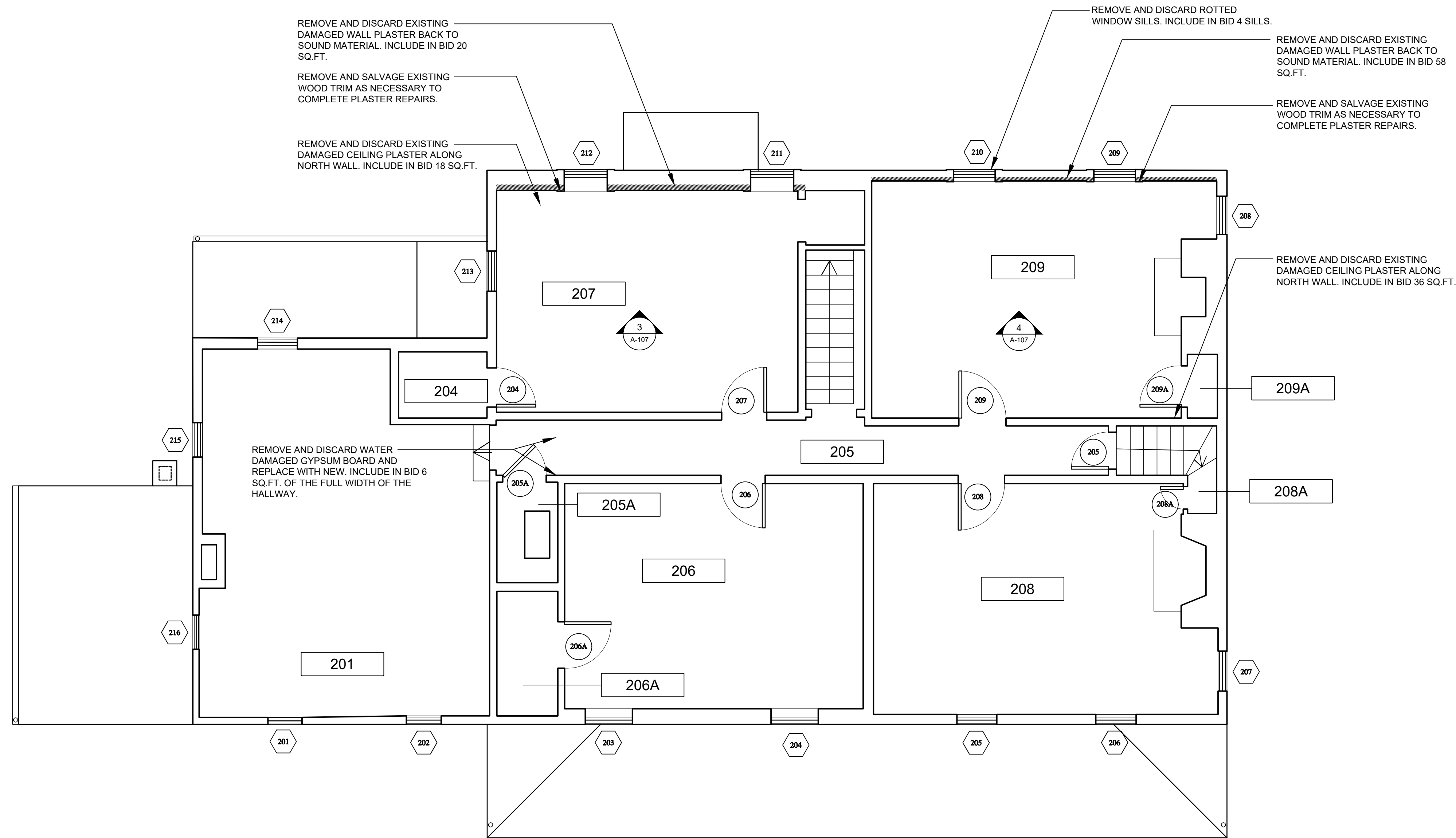
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D-101



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1 DEMOLITION SECOND FLOOR PLAN
1/4" = 1'-0"

W:\JOB5\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\D-102 Demolition Second Floor Plan.dwg

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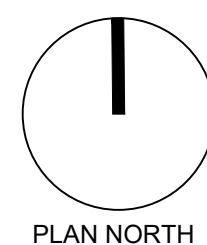
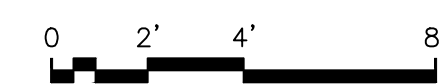
**DEMOLITION
SECOND FLOOR
PLAN**

Date: 4 August 2022

Revisions		
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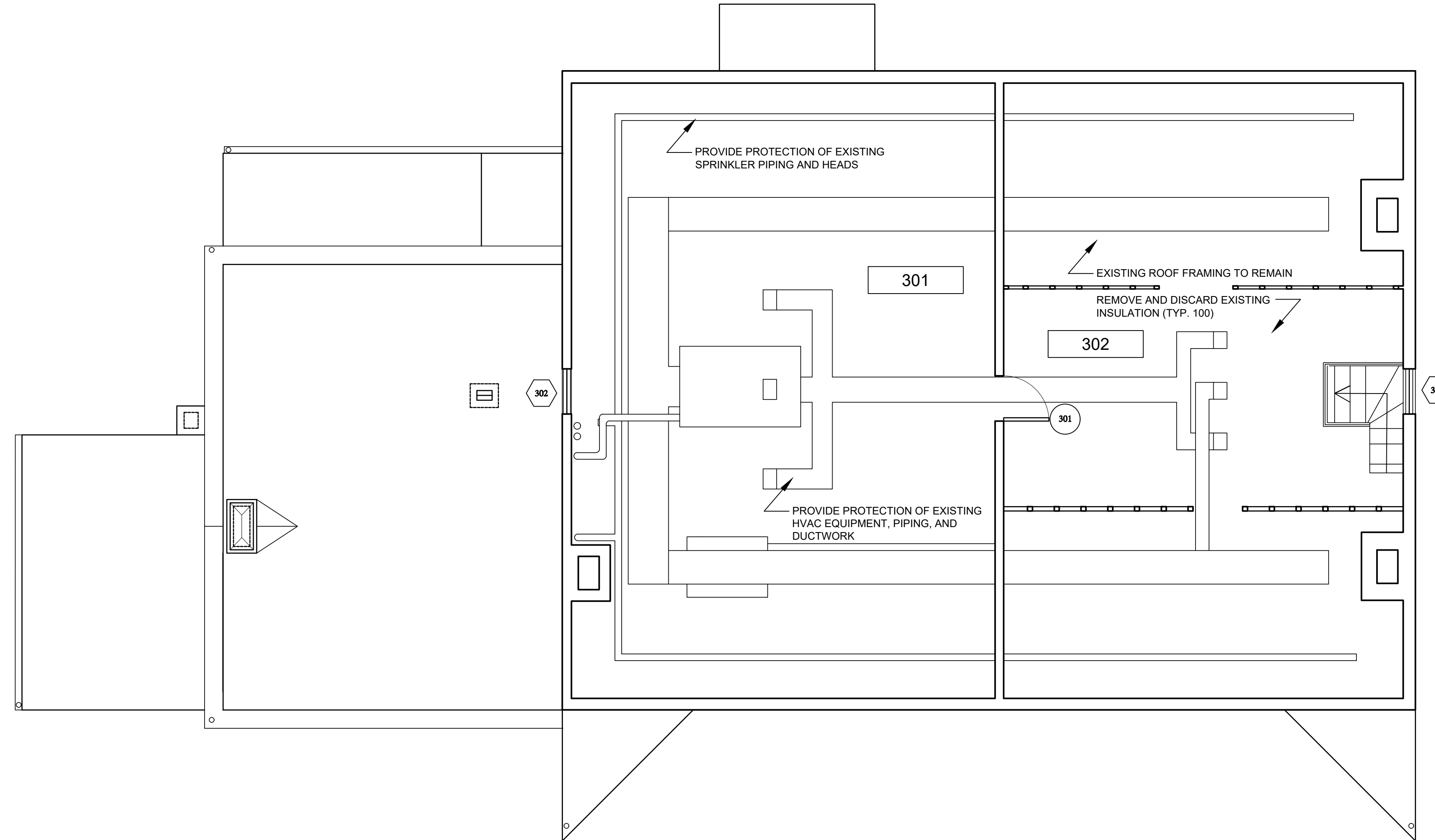
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D-102



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1 DEMOLITION ATTIC PLAN
1/4" = 1'-0"

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JHPA Job No. 549-02

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DEMOLITION
ATTIC PLAN

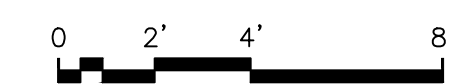
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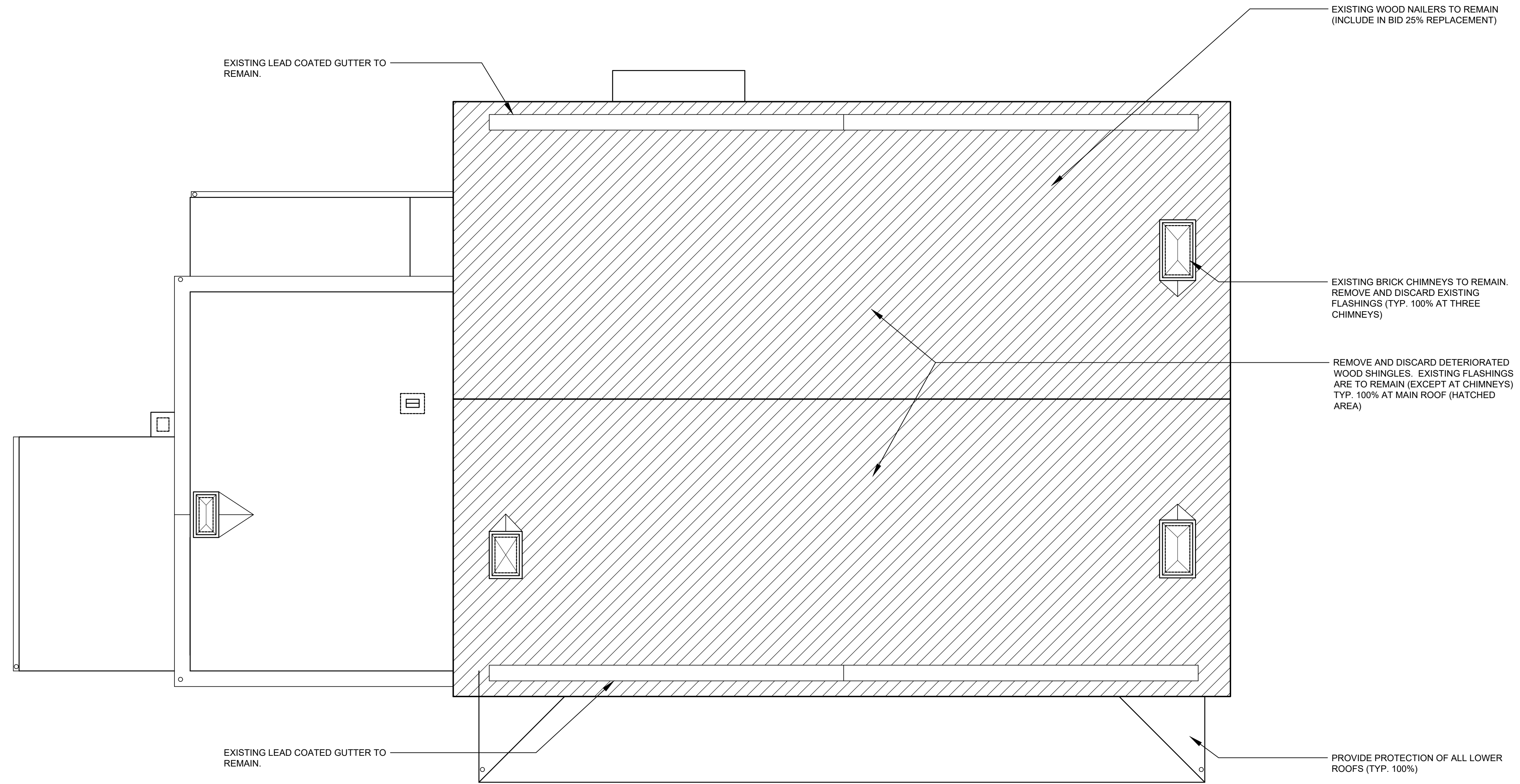
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D-103



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1 DEMOLITION ROOF PLAN
1/4" = 1'-0"

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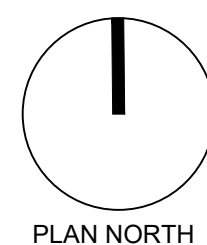
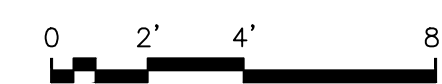
DEMOLITION
ROOF PLAN

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Revisions		
No.	Date	Description

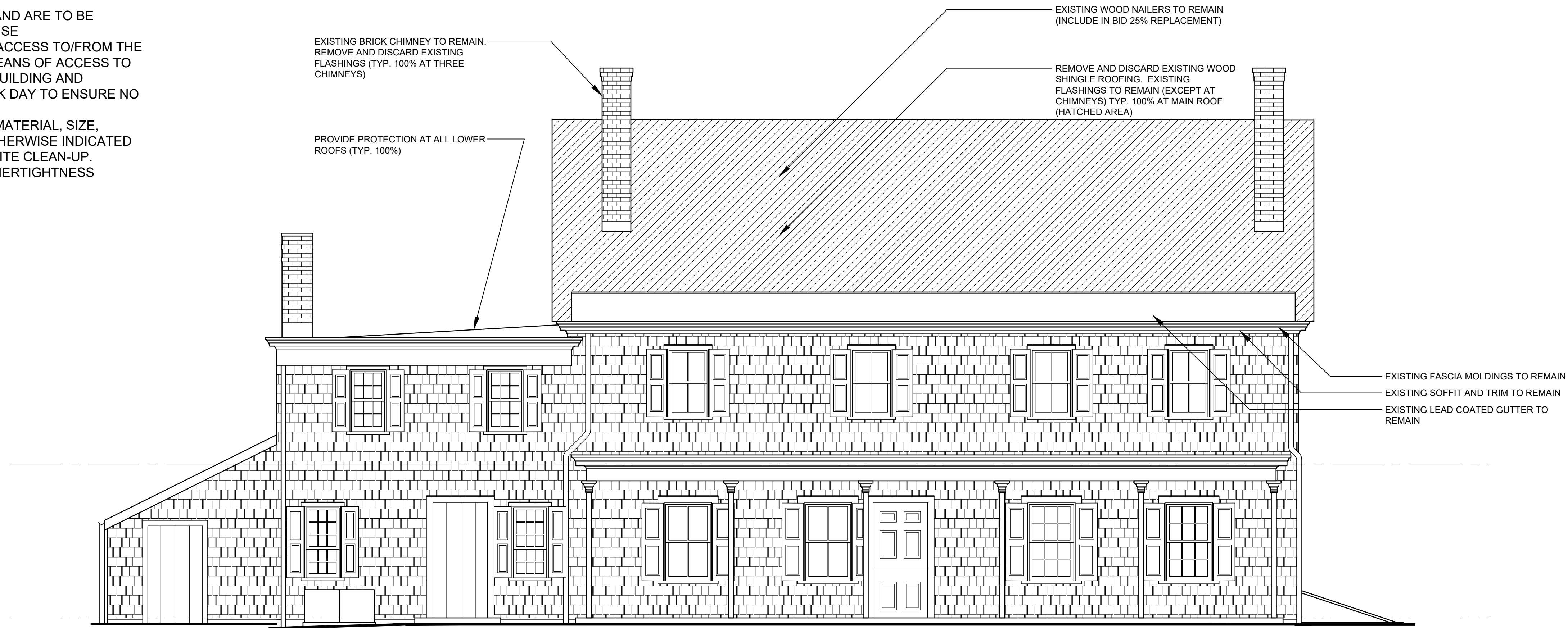
Drawing No.

D-104

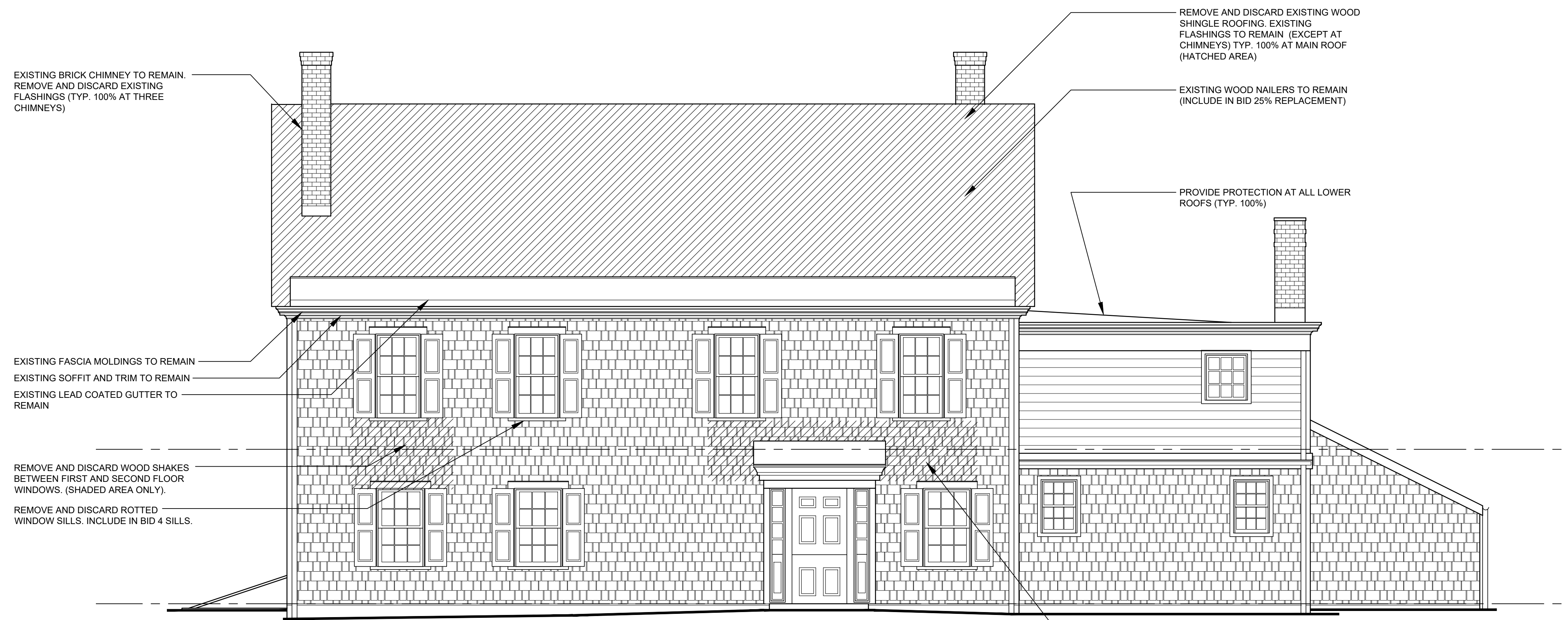


GENERAL NOTES:

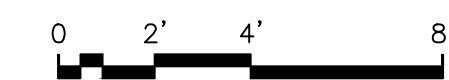
1. ALL MATERIALS ARE ASSUMED TO BE HISTORIC AND ARE TO BE SALVAGED FOR REUSE UNLESS NOTED OTHERWISE
2. CONSTRUCTION ACTIVITIES ARE NOT TO BLOCK ACCESS TO/FROM THE BUILDING AT ANY TIME. LADDERS AND OTHER MEANS OF ACCESS TO THE BUILDING ARE TO BE REMOVED FROM THE BUILDING AND PROPERLY SECURED AT THE END OF EACH WORK DAY TO ENSURE NO UNAUTHORIZED ACCESS INTO THE BUILDING
3. ALL NEW COMPONENTS TO MATCH ORIGINAL IN MATERIAL, SIZE, PROFILES, COLORS AND TEXTURES - UNLESS OTHERWISE INDICATED
4. THE CONTRACTOR IS RESPONSIBLE FOR DAILY SITE CLEAN-UP.
5. CONTRACTOR IS RESPONSIBLE FOR FULL WEATHERTIGHTNESS DURING THE ENTIRE CONSTRUCTION PERIOD



1 DEMOLITION SOUTH ELEVATION
1/4" = 1'-0"



2 DEMOLITION NORTH ELEVATION
1/4" = 1'-0"



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REPAIRS TO THE
SEABROOK WILSON HOUSE
Bayshore Waterfront Park,
Port Monmouth NJ (Bldg #2667/PS#30-22)
Monmouth County Park System
805 Newman Springs Road, Lincroft, NJ

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND THE ARCHITECT NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE CONSTRUCTION.

DO NOT SCALE DRAWINGS.

JHPA Job No. 549-02

Drawing Title

DEMOLITION
EXTERIOR
ELEVATIONS

Date: 4 August 2022

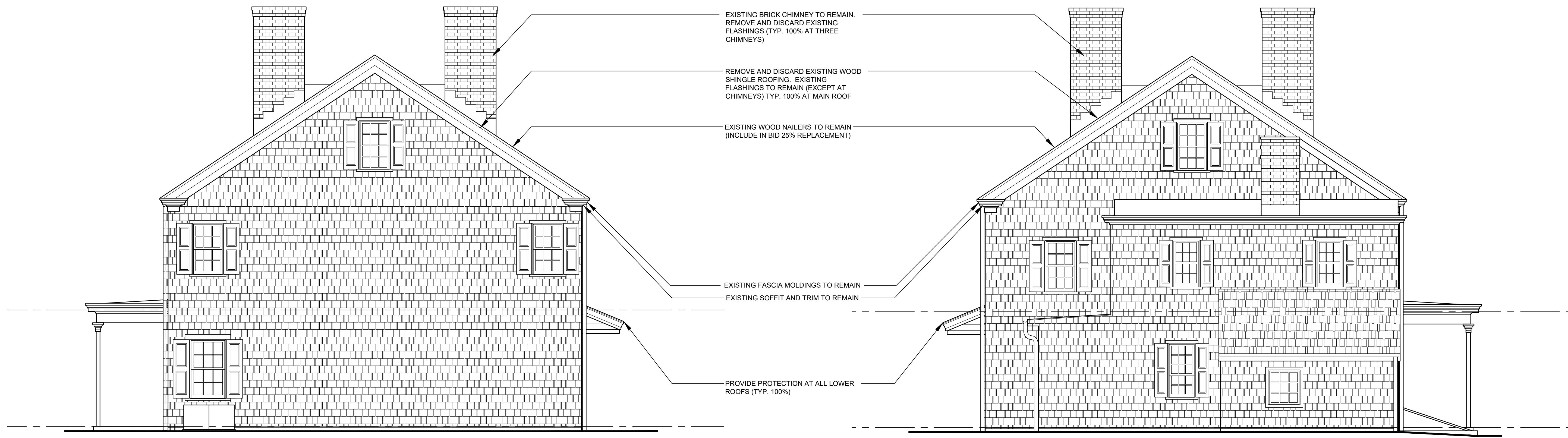
Revisions		
No.	Date	Description

Drawing No.

D-105

GENERAL NOTES:

1. ALL MATERIALS ARE ASSUMED TO BE HISTORIC AND ARE TO BE SALVAGED FOR REUSE UNLESS NOTED OTHERWISE
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EXISTING BRICK CHIMNEY TO REMAIN. REMOVE AND DISCARD EXISTING FLASHINGS (TYP. 100% AT THREE CHIMNEYS)

REMOVE AND DISCARD EXISTING WOOD SHINGLE ROOFING. EXISTING FLASHINGS TO REMAIN (EXCEPT AT CHIMNEYS) TYP. 100% AT MAIN ROOF

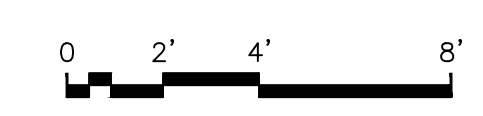
EXISTING WOOD NAILERS TO REMAIN (INCLUDE IN BID 25% REPLACEMENT)

EXISTING FASCIA MOLDINGS TO REMAIN
EXISTING SOFFIT AND TRIM TO REMAIN

PROVIDE PROTECTION AT ALL LOWER ROOFS (TYP. 100%)

1 DEMOLITION EAST ELEVATION
1/4" = 1'-0"

2 DEMOLITION WEST ELEVATION
1/4" = 1'-0"



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JHPA Job No. 549-02

Drawing Title

DEMOLITION EXTERIOR ELEVATIONS

Date: 4 August 2022

Revisions		
No.	Date	Description

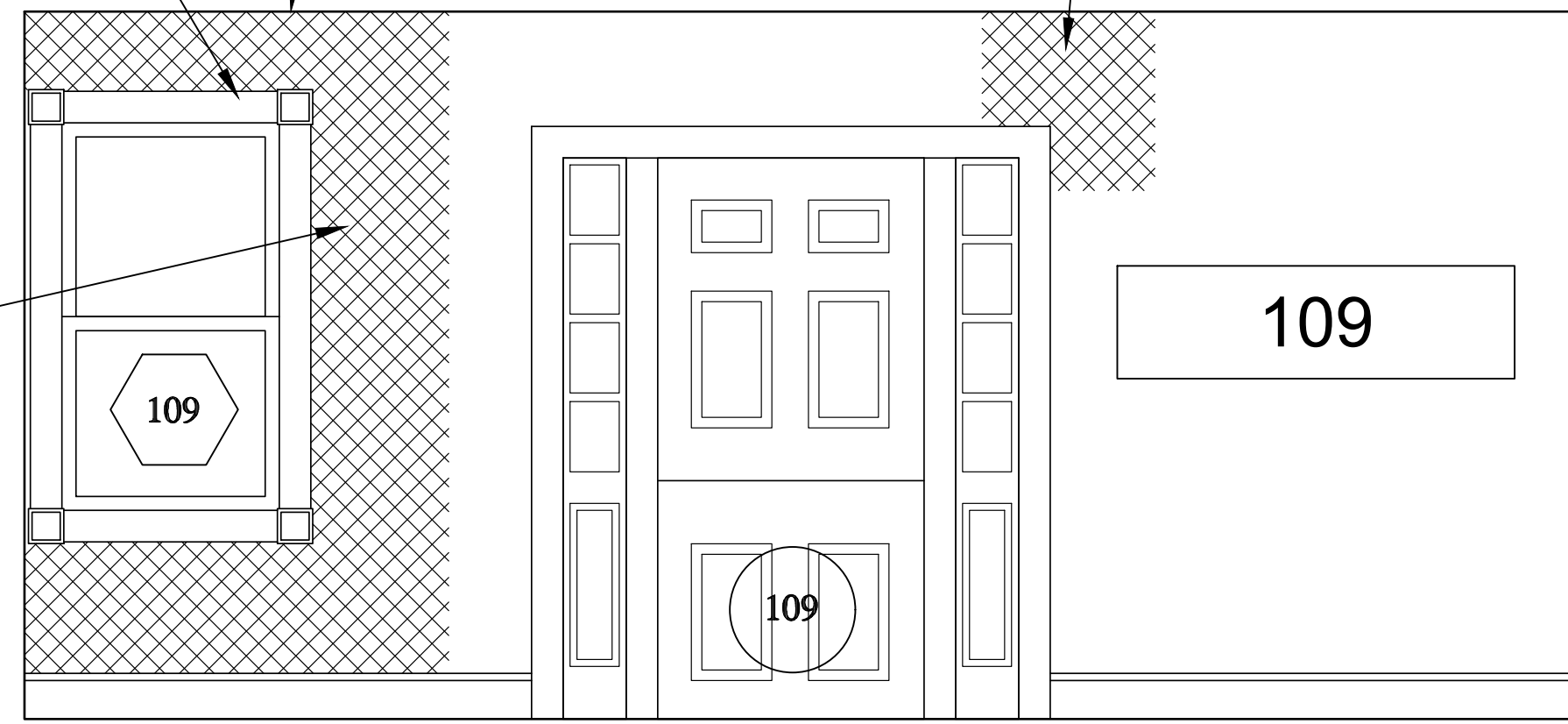
Drawing No.
D-106

REMOVE AND SALVAGE EXISTING WOOD TRIM AS NECESSARY TO COMPLETE PLASTER REPAIRS.

REMOVE AND DISCARD DAMAGED CEILING PLASTER ABOVE WINDOW. INCLUDE IN BID 6 SQ.FT.

REMOVE AND DISCARD DAMAGED PLASTER AT BACK DOOR TO SOUND MATERIAL. INCLUDE IN BID 4 SQ.FT.

REMOVE AND DISCARD EXISTING DAMAGED WALL PLASTER BACK TO SOUND MATERIAL AROUND WINDOW. INCLUDE IN BID 23 SQ.FT.



1

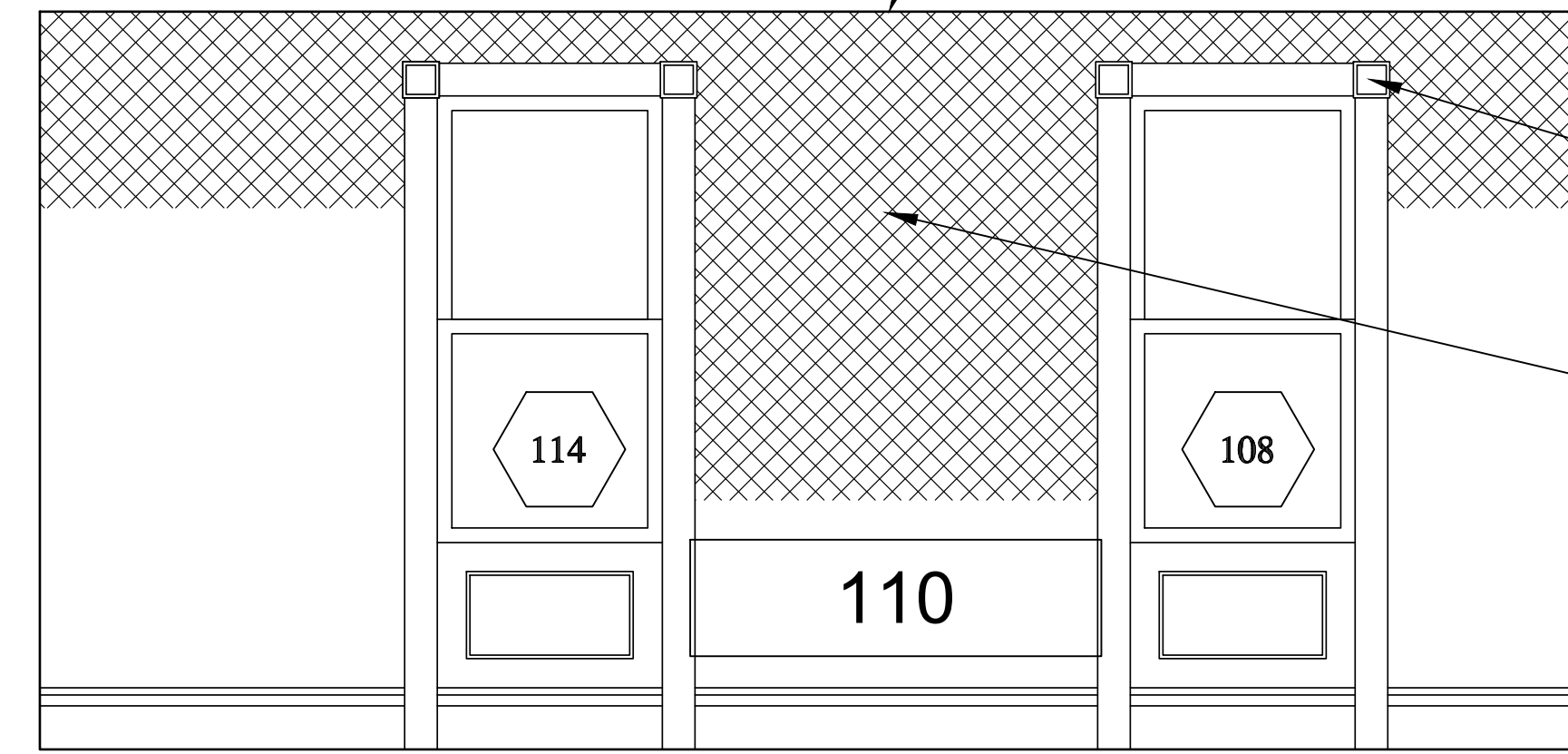
DEMOLITION ELEVATION - NORTH WALL ROOM 109

1/2" = 1'-0"

REMOVE AND DISCARD EXISTING DAMAGED CEILING PLASTER ALONG NORTH WALL. INCLUDE IN BID 36 SQ.FT.

REMOVE AND SALVAGE EXISTING WOOD TRIM AS NECESSARY TO COMPLETE PLASTER REPAIRS.

REMOVE AND DISCARD EXISTING DAMAGED WALL PLASTER BACK TO SOUND MATERIAL. INCLUDE IN BID 45 SQ.FT.



2

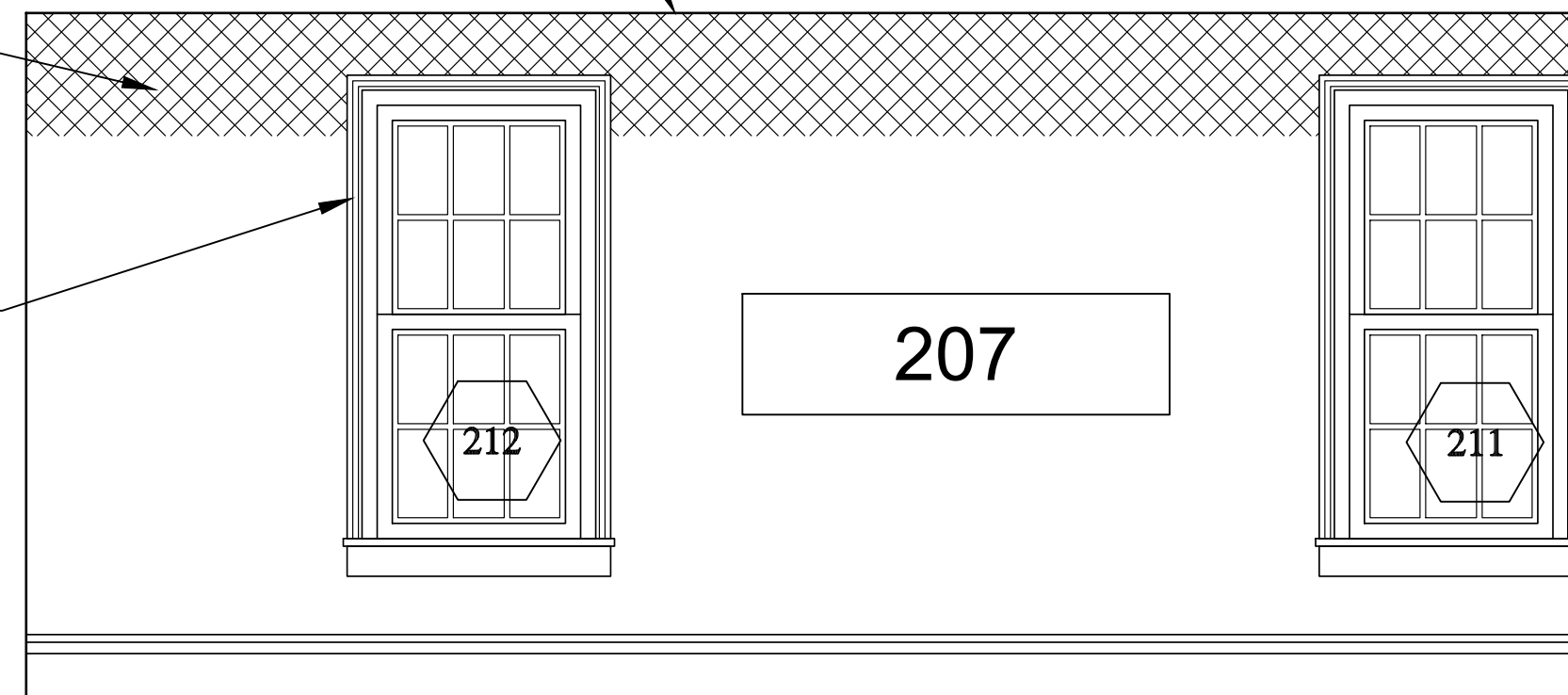
DEMOLITION ELEVATION - NORTH WALL ROOM 110

1/2" = 1'-0"

REMOVE AND DISCARD EXISTING DAMAGED CEILING PLASTER ALONG NORTH WALL. INCLUDE IN BID 18 SQ.FT.

REMOVE AND DISCARD EXISTING DAMAGED WALL PLASTER BACK TO SOUND MATERIAL. INCLUDE IN BID 20 SQ.FT.

REMOVE AND SALVAGE EXISTING WOOD TRIM AS NECESSARY TO COMPLETE PLASTER REPAIRS.



3

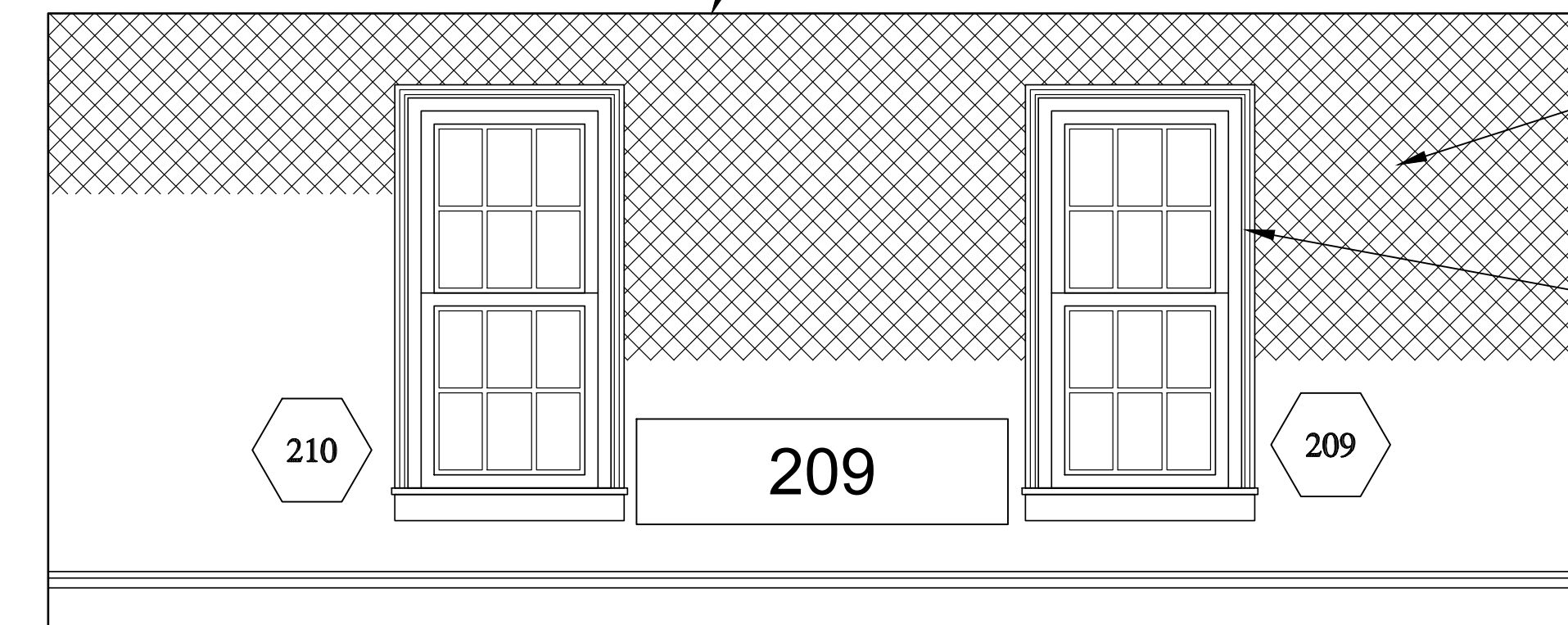
DEMOLITION ELEVATION - NORTH WALL ROOM 207

1/2" = 1'-0"

REMOVE AND DISCARD EXISTING DAMAGED CEILING PLASTER ALONG NORTH WALL. INCLUDE IN BID 36 SQ.FT.

REMOVE AND DISCARD EXISTING DAMAGED WALL PLASTER BACK TO SOUND MATERIAL. INCLUDE IN BID 58 SQ.FT.

REMOVE AND SALVAGE EXISTING WOOD TRIM AS NECESSARY TO COMPLETE PLASTER REPAIRS.



4

DEMOLITION ELEVATION - NORTH WALL ROOM 209

1/2" = 1'-0"

W:\JUBS\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\0-107 Demolition Interior Elevations.dwg

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REPAIRS TO THE SEABROOK WILSON HOUSE
 Bayshore Waterfront Park,
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 Monmouth County Park System
 805 Newman Springs Road, Lincroft, NJ

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JHPA Job No. 549-02

Drawing Title

DEMOLITION INTERIOR ELEVATIONS

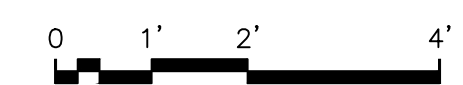
Date: 4 August 2022

Revisions

No.	Date	Description

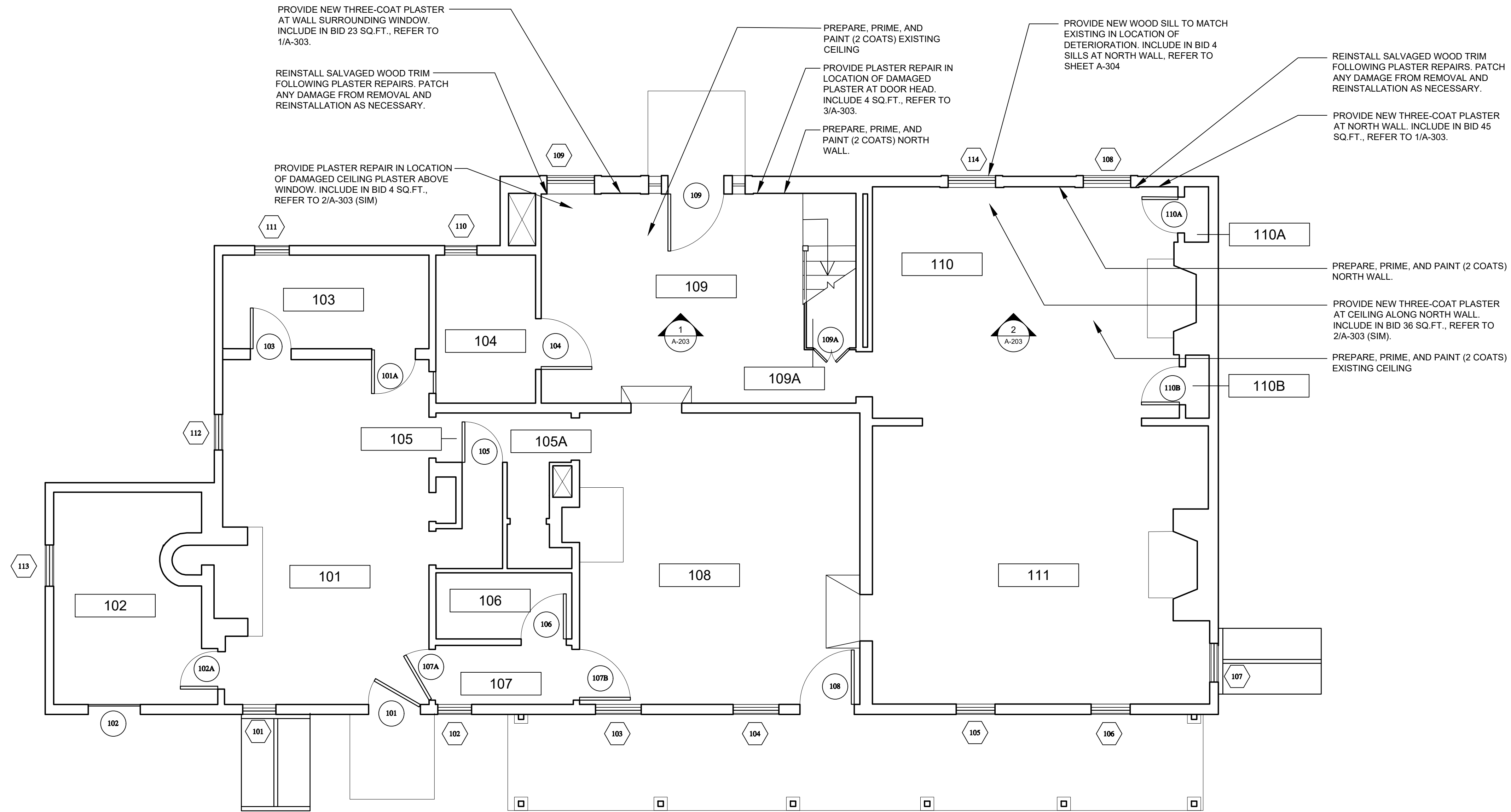
Drawing No.

D-107



GENERAL NOTES:

1. ALL MATERIALS ARE ASSUMED TO BE HISTORIC AND ARE TO BE SALVAGED FOR REUSE UNLESS NOTED OTHERWISE
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5. CONTRACTOR IS RESPONSIBLE FOR FULL WEATHERTIGHTNESS DURING THE ENTIRE CONSTRUCTION PERIOD



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

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JHPA Job No. 549-02

Drawing Title

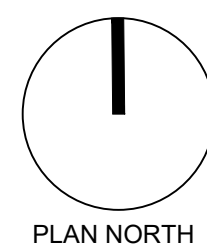
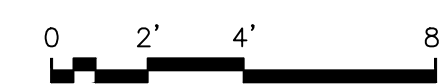
PROPOSED
FIRST FLOOR
PLAN

Date: 4 August 2022

Revisions		
No.	Date	Description

Drawing No.

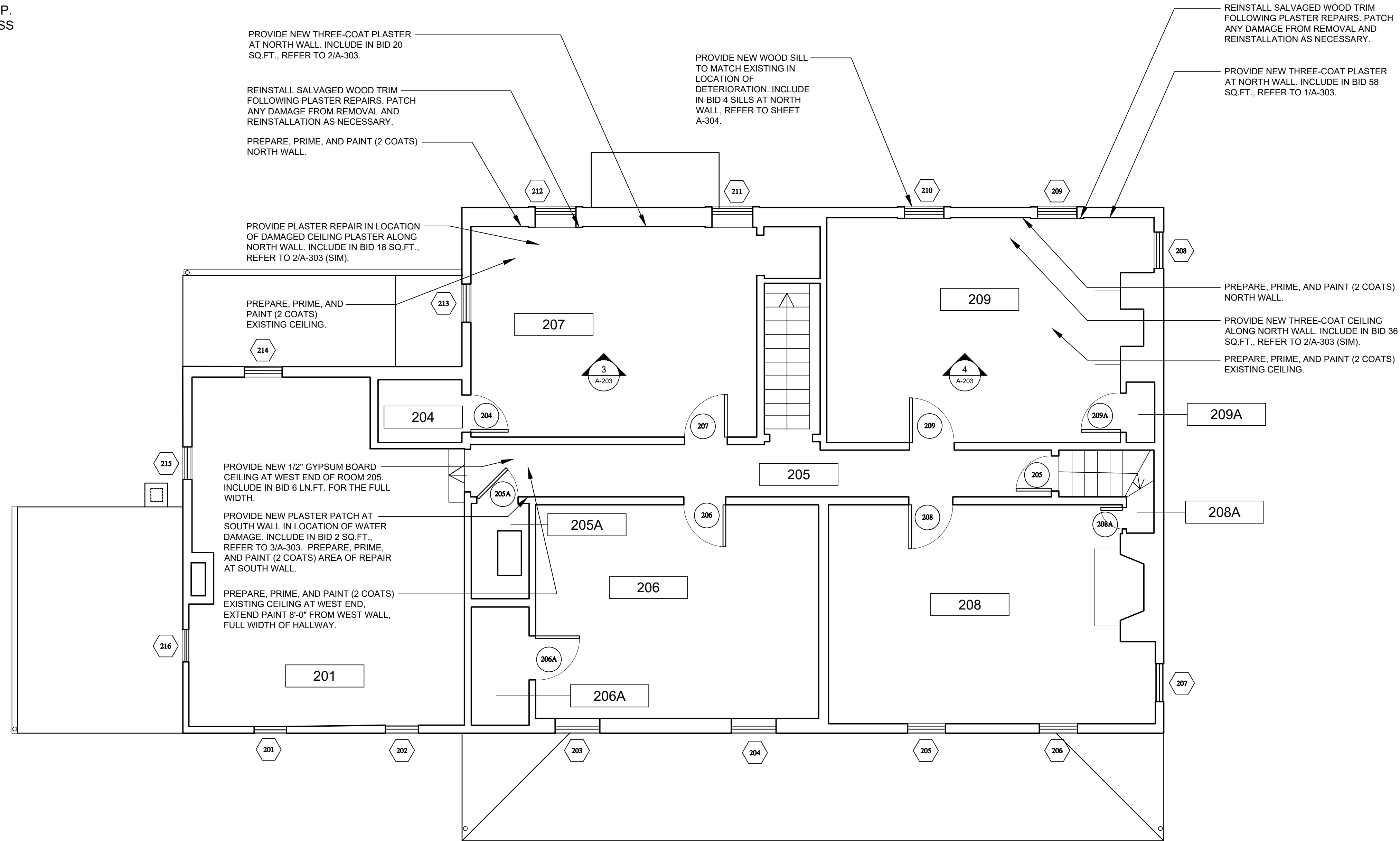
A-101



PLAN NORTH

GENERAL NOTES:

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1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"

W:\JOB\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\A-102 Second Floor Plan.dwg

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59 WEST 37TH STREET, NEW YORK, NY 10018
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DO NOT SCALE DRAWINGS.

JHPA Job No. 549-02

Drawing Title

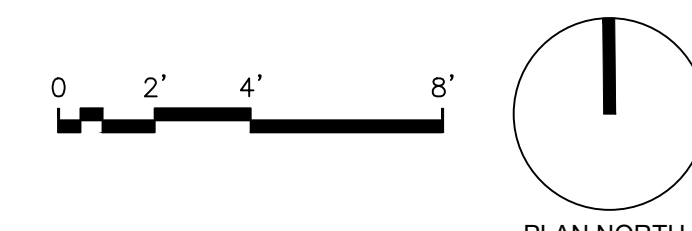
PROPOSED SECOND FLOOR PLAN

Date: 4 August 2022

Revisions		
No.	Date	Description

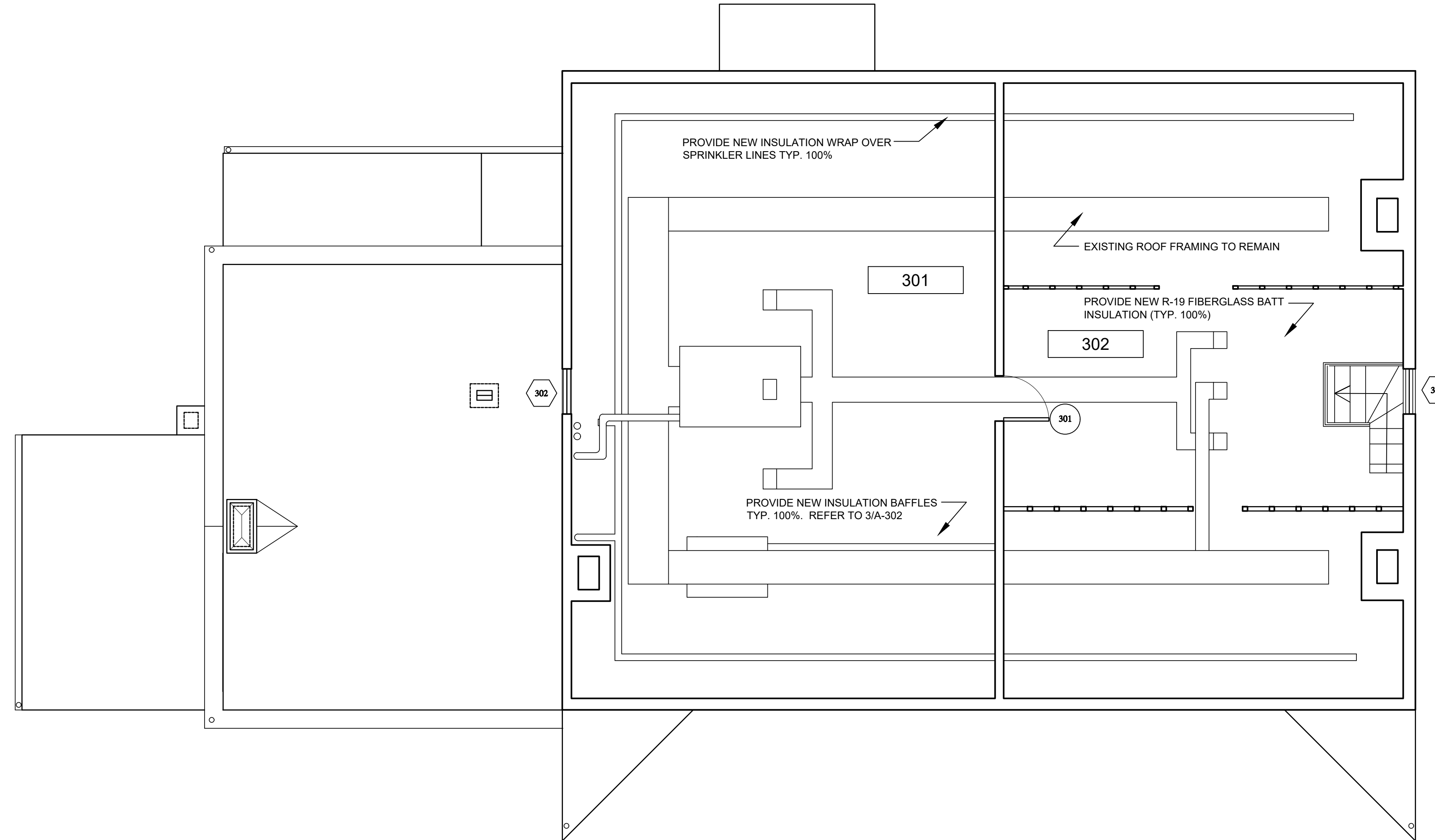
Drawing No.

A-102



GENERAL NOTES:

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1 PROPOSED ATTIC PLAN
1/4" = 1'-0"

W:\JOB5\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\A-103 Attic Plan 10-24-2022.dwg

JHPA
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39 WEST 37TH STREET, NEW YORK, NY 10018
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REPAIRS TO THE
SEABROOK WILSON HOUSE
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Monmouth County Park System
805 Newman Springs Road, Lincroft, NJ

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JHPA Job No. 549-02

Drawing Title

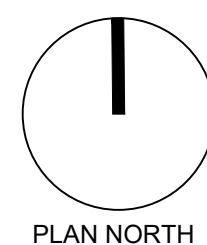
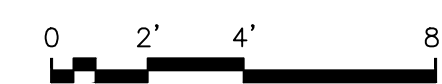
PROPOSED ATTIC PLAN

Date: 4 August 2022

Revisions		
No.	Date	Description

Drawing No.

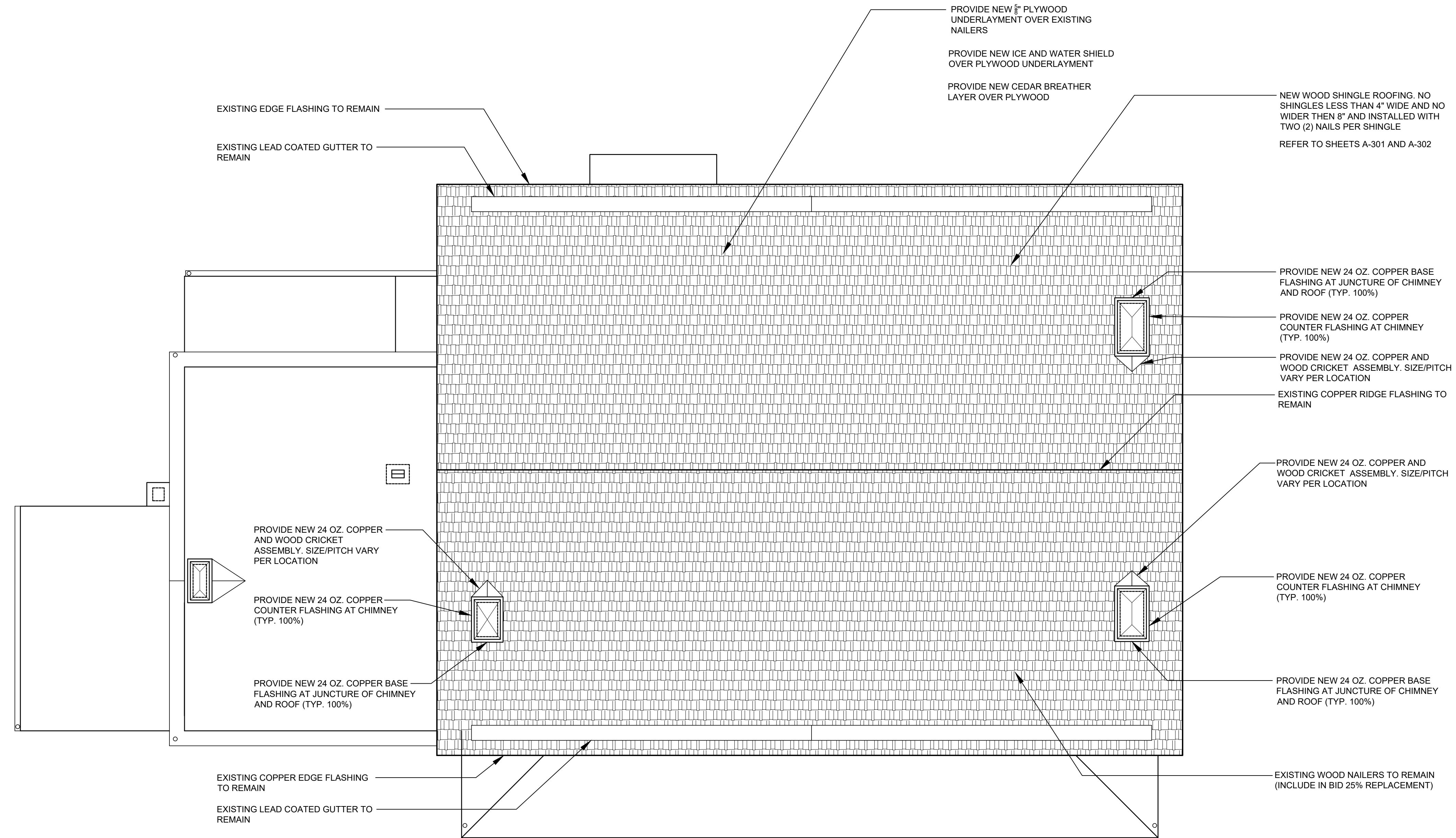
A-103



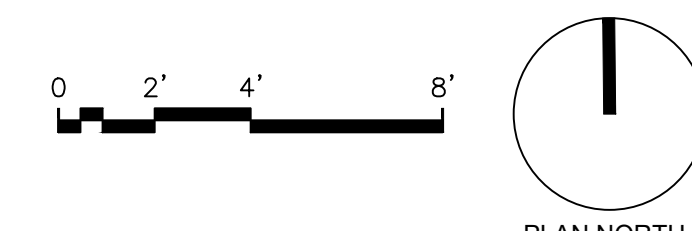
PLAN NORTH

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1 **PROPOSED ROOF PLAN**
1/4" = 1'-0"



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JHPA Job No. 549-02

Drawing Title
PROPOSED ROOF PLAN

Date: 4 August 2022

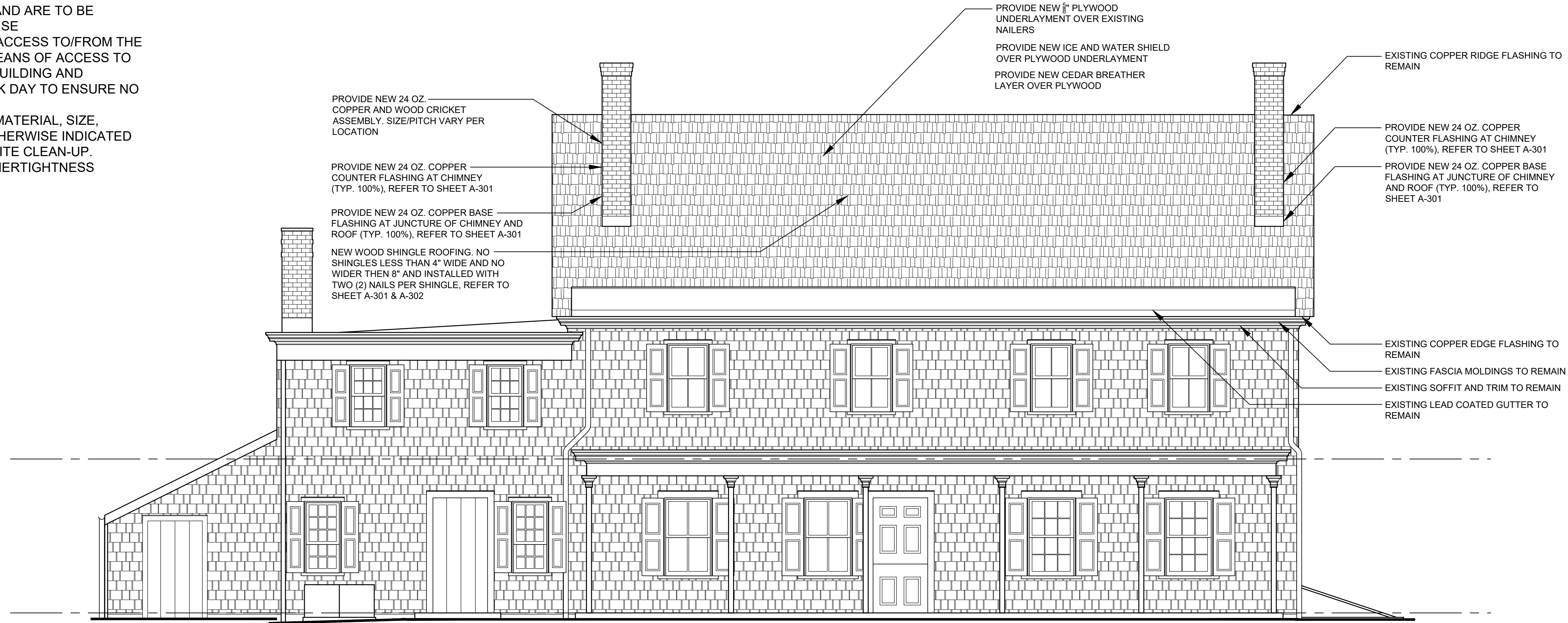
Revisions		
No.	Date	Description

Drawing No.
A-104

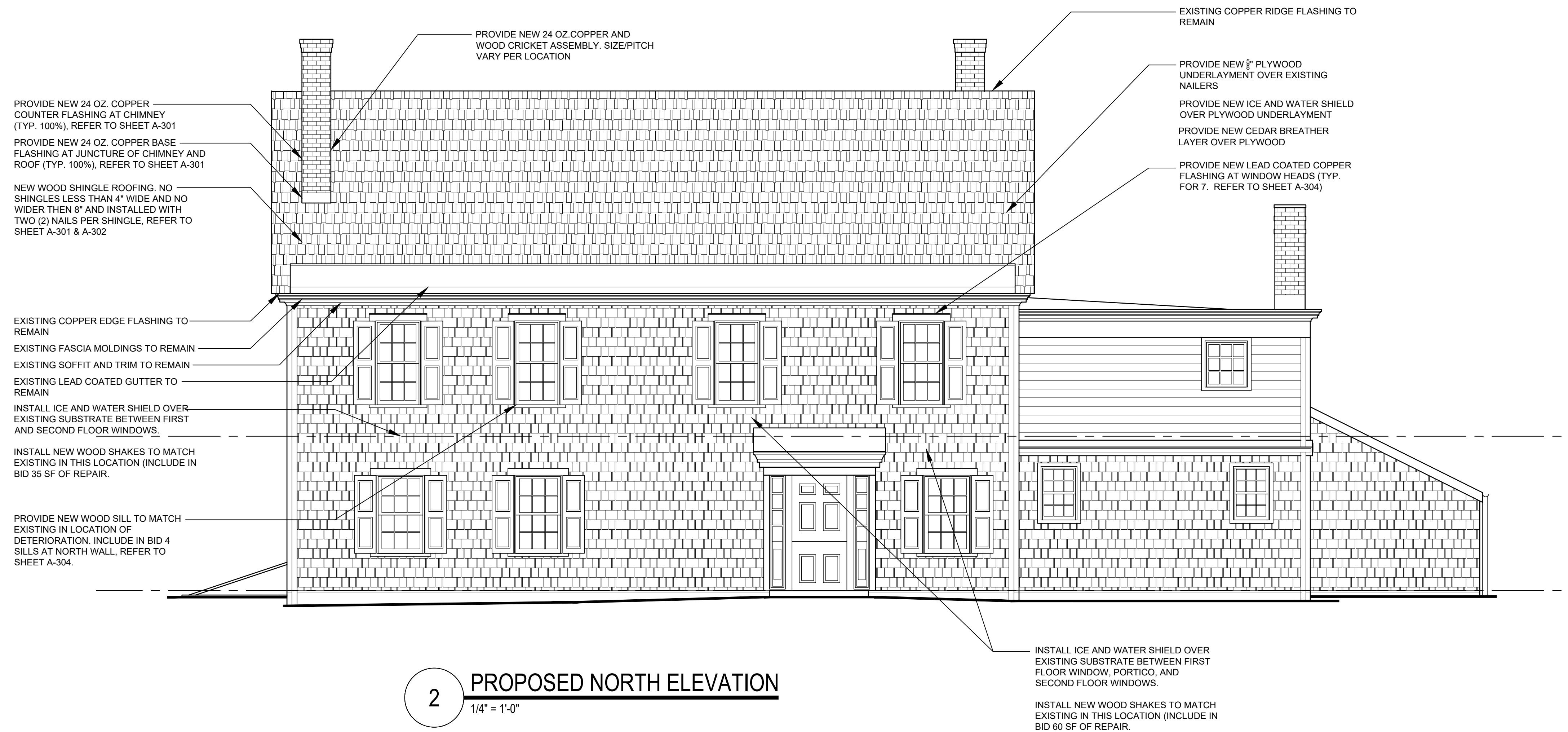
W:\JOB5\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\A-104 Roof Plan 08-22-2022.dwg

GENERAL NOTES:

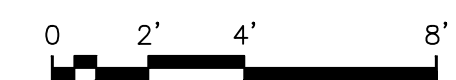
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1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



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JHPA Job No. 549-02

Drawing Title

PROPOSED EXTERIOR ELEVATIONS

Date: 4 August 2022

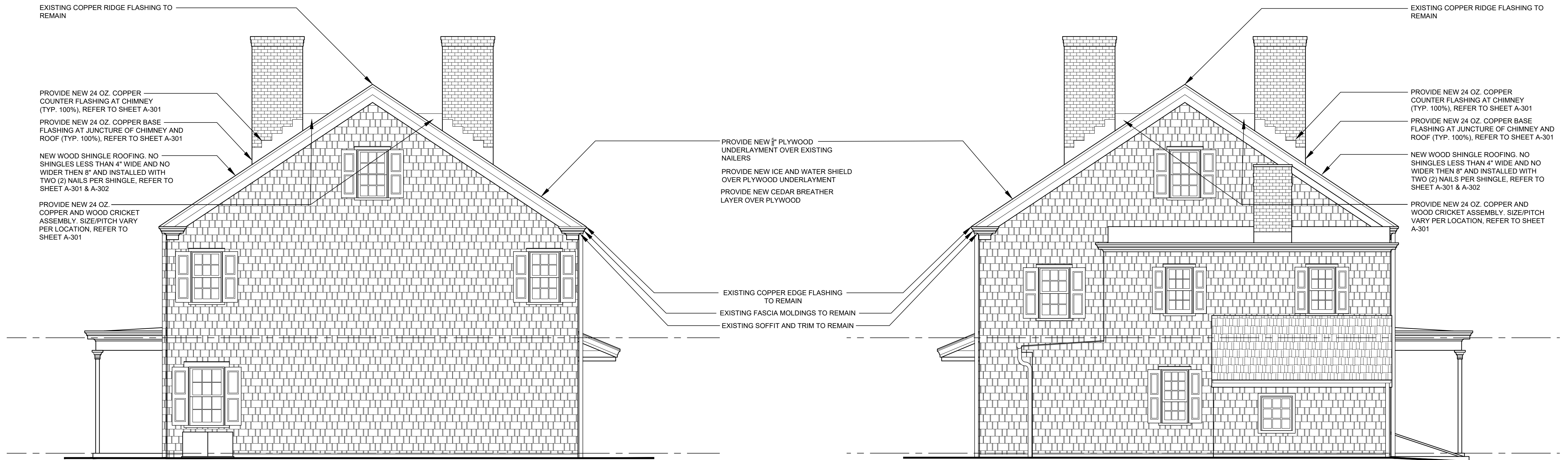
Revisions		
No.	Date	Description

Drawing No.

A-201

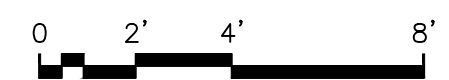
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1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



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JHPA Job No. 549-02

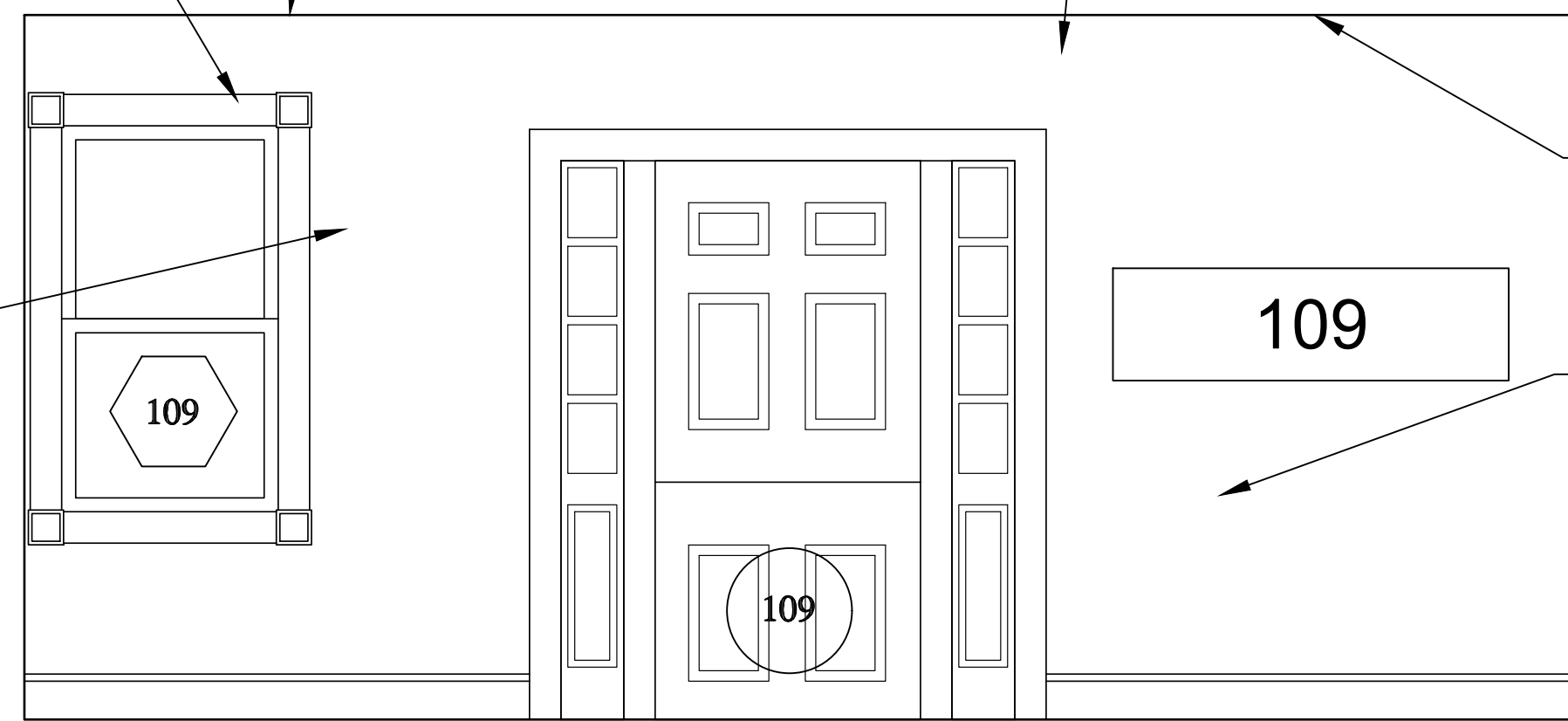
Drawing Title		
PROPOSED EXTERIOR ELEVATIONS		
Date: 4 August 2022		
Revisions		
No.	Date	Description
Drawing No.		
A-202		

REINSTALL SALVAGED WOOD TRIM FOLLOWING PLASTER REPAIRS. PATCH ANY DAMAGE FROM REMOVAL AND REINSTALLATION AS NECESSARY.

PROVIDE PLASTER REPAIR IN LOCATION OF DAMAGED CEILING PLASTER ABOVE WINDOW. INCLUDE IN BID 4 SQ.FT., REFER TO 2/A-303 (SIM)

PROVIDE PLASTER REPAIR IN LOCATION OF DAMAGED PLASTER AT DOOR HEAD. INCLUDE 4 SQ.FT., REFER TO 3/A-303.

PROVIDE NEW THREE-COAT PLASTER AT WALL SURROUNDING WINDOW. INCLUDE IN BID 23 SQ.FT., REFER TO 1/A-303.



PREPARE, PRIME, AND PAINT (2 COATS) EXISTING CEILING

PREPARE, PRIME, AND PAINT (2 COATS) NORTH WALL.

1 **PROPOSED ELEVATION - NORTH WALL ROOM 109**
1/2" = 1'-0"

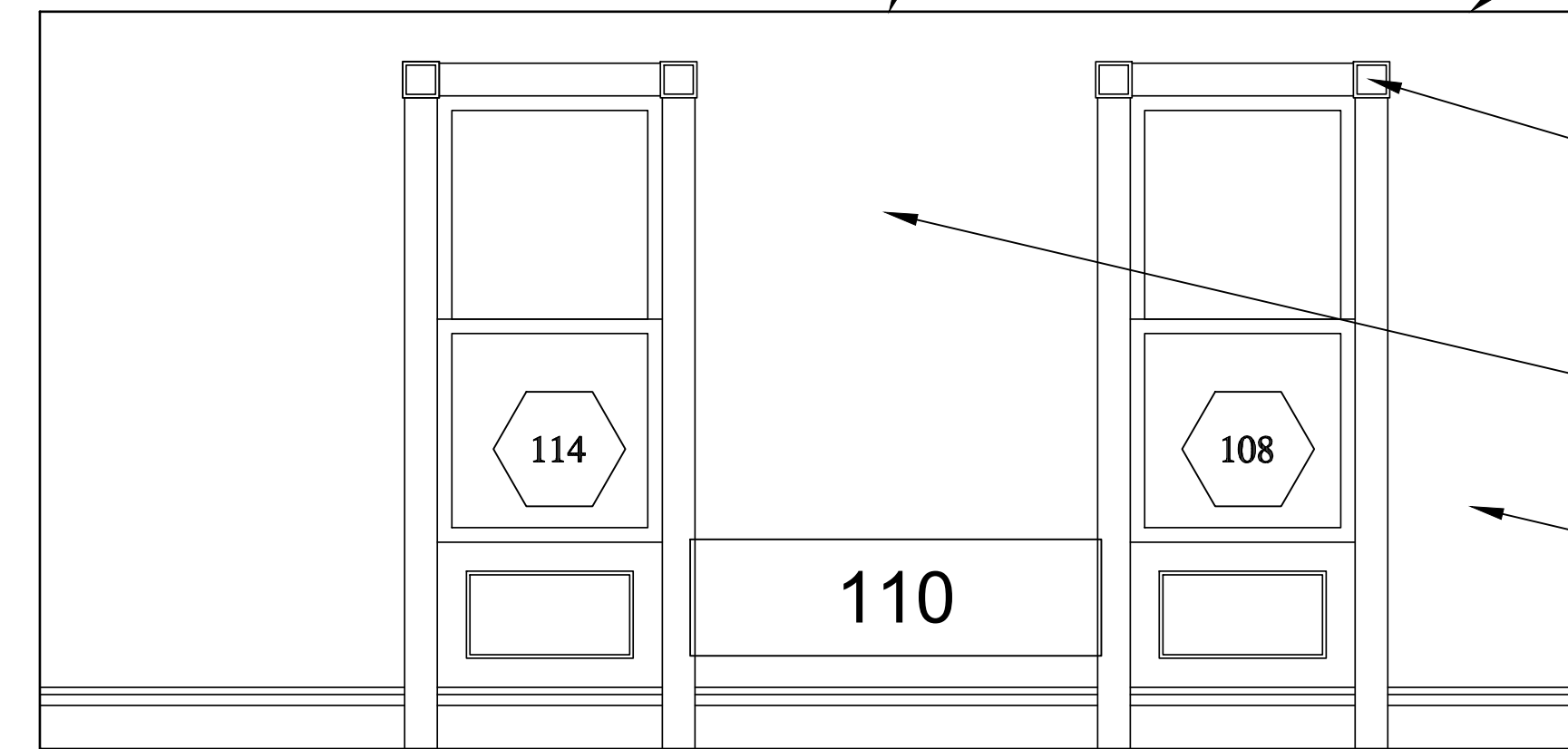
PROVIDE NEW THREE-COAT PLASTER AT CEILING ALONG NORTH WALL. INCLUDE IN BID 36 SQ.FT., REFER TO 2/A-303 (SIM).

PREPARE, PRIME, AND PAINT (2 COATS) EXISTING CEILING

REINSTALL SALVAGED WOOD TRIM FOLLOWING PLASTER REPAIRS. PATCH ANY DAMAGE FROM REMOVAL AND REINSTALLATION AS NECESSARY.

PROVIDE NEW THREE-COAT PLASTER AT NORTH WALL. INCLUDE IN BID 45 SQ.FT., REFER TO 1/A-303.

PREPARE, PRIME, AND PAINT (2 COATS) NORTH WALL.

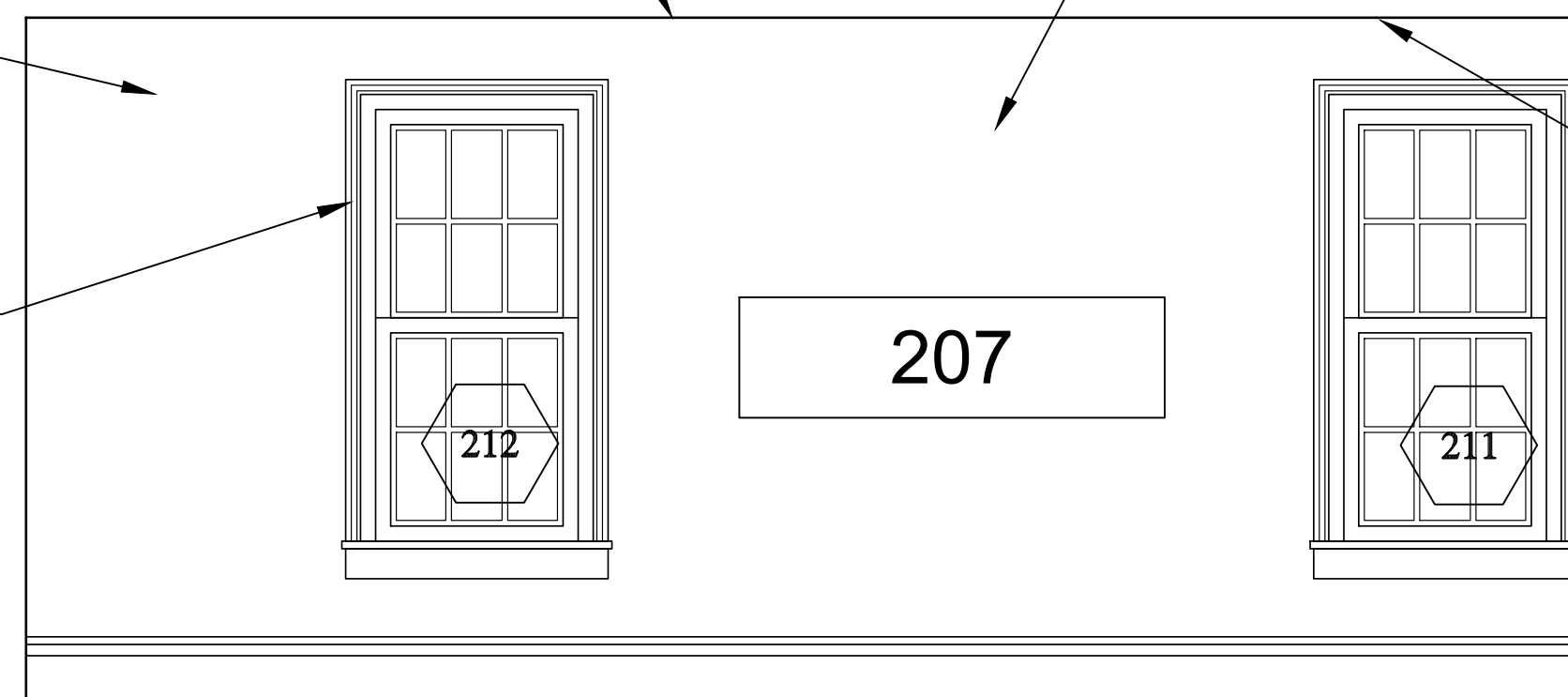


2 **PROPOSED ELEVATION - NORTH WALL ROOM 110**
1/2" = 1'-0"

PROVIDE PLASTER REPAIR IN LOCATION OF DAMAGED CEILING PLASTER ALONG NORTH WALL. INCLUDE IN BID 18 SQ.FT., REFER TO 2/A-303 (SIM).

PROVIDE NEW THREE-COAT PLASTER AT NORTH WALL. INCLUDE IN BID 20 SQ.FT., REFER TO 2/A-303.

REINSTALL SALVAGED WOOD TRIM FOLLOWING PLASTER REPAIRS. PATCH ANY DAMAGE FROM REMOVAL AND REINSTALLATION AS NECESSARY.



PREPARE, PRIME, AND PAINT (2 COATS) NORTH WALL.

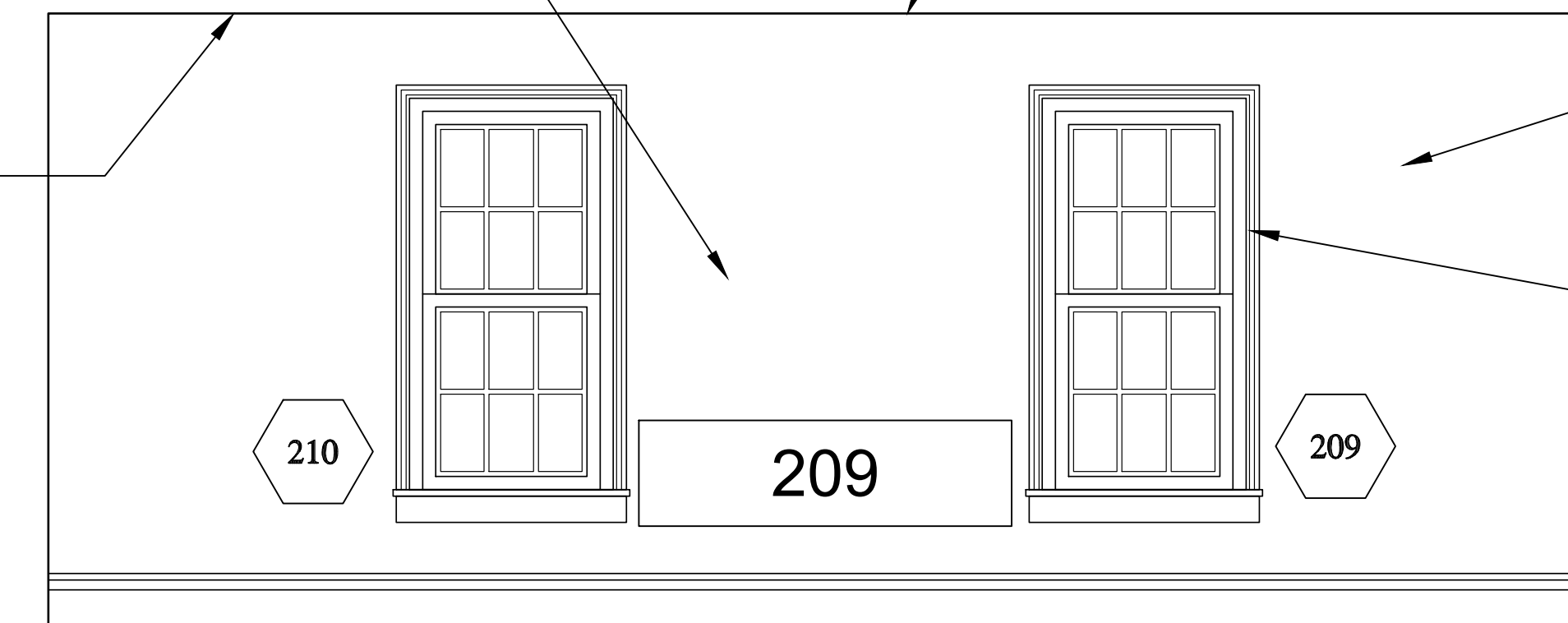
PREPARE, PRIME, AND PAINT (2 COATS) EXISTING CEILING

3 **PROPOSED ELEVATION - NORTH WALL ROOM 207**
1/2" = 1'-0"

PROVIDE NEW THREE-COAT CEILING ALONG NORTH WALL. INCLUDE IN BID 36 SQ.FT., REFER TO 2/A-303 (SIM).

PROVIDE NEW THREE-COAT PLASTER AT NORTH WALL. INCLUDE IN BID 58 SQ.FT., REFER TO 1/A-303.

REINSTALL SALVAGED WOOD TRIM FOLLOWING PLASTER REPAIRS. PATCH ANY DAMAGE FROM REMOVAL AND REINSTALLATION AS NECESSARY.



4 **PROPOSED ELEVATION - NORTH WALL ROOM 209**
1/2" = 1'-0"

W:\JUBS\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\A-203 Interior Elevations.dwg

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REPAIRS TO THE
SEABROOK WILSON HOUSE
Bayshore Waterfront Park,
Port Monmouth NJ (Bldg #2667/PS#30-22)
Monmouth County Park System
805 Newman Springs Road, Lincroft, NJ

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DO NOT SCALE DRAWINGS.

JHPA Job No. 549-02

Drawing Title

**PROPOSED
INTERIOR
ELEVATIONS**

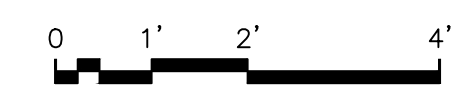
Date: 4 August 2022

Revisions

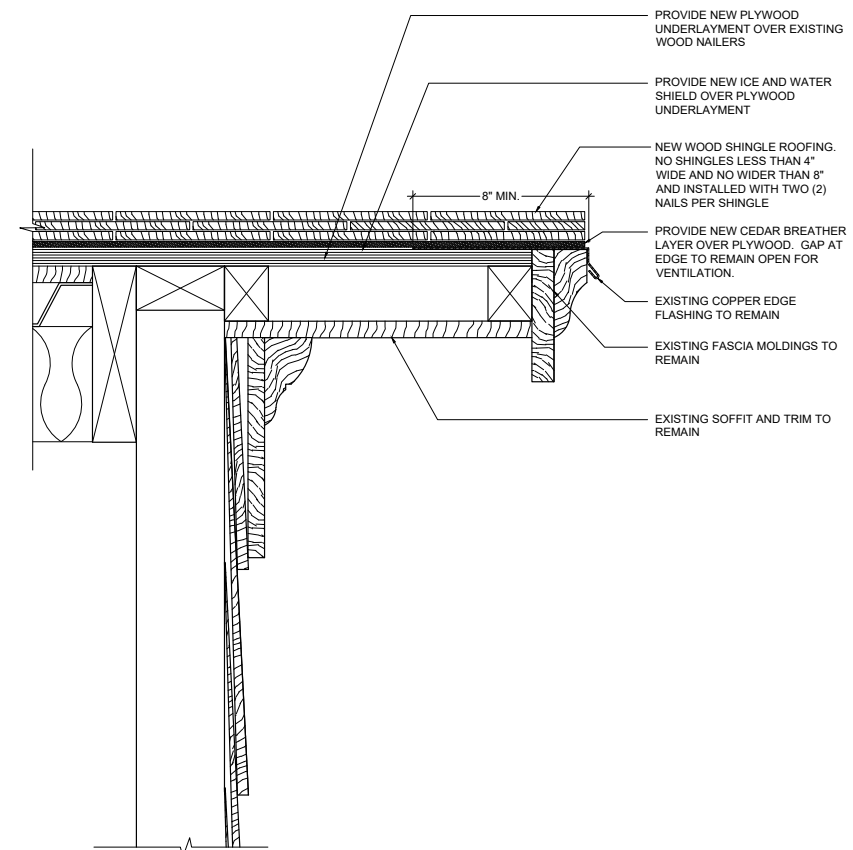
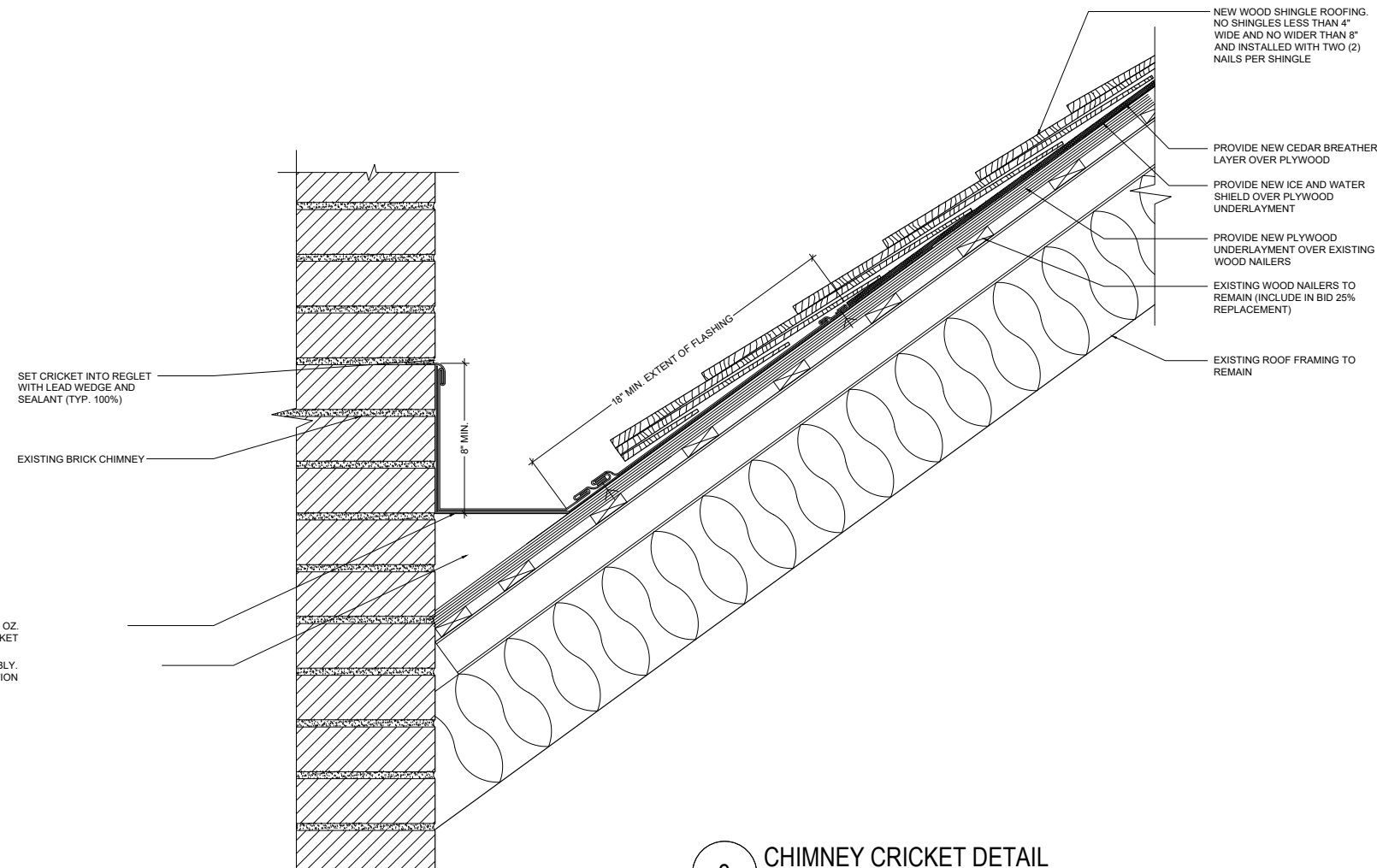
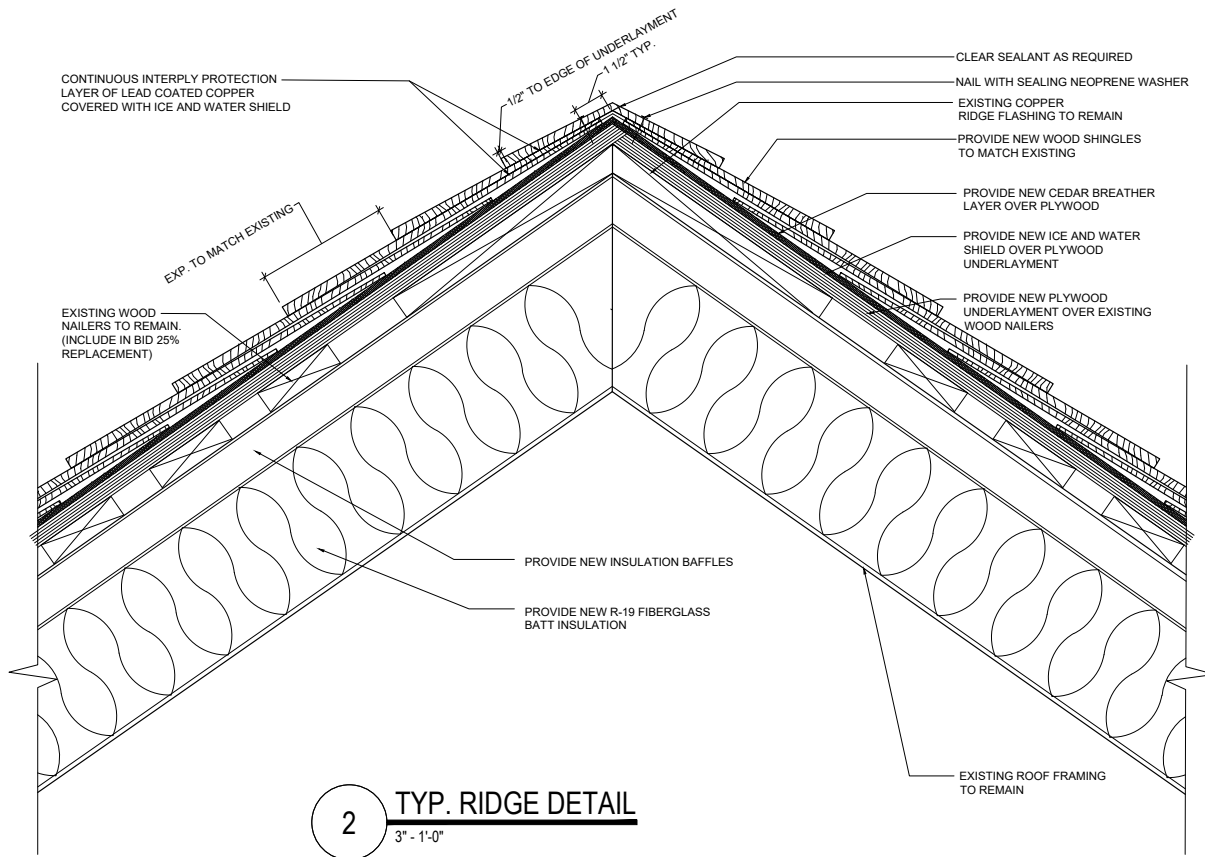
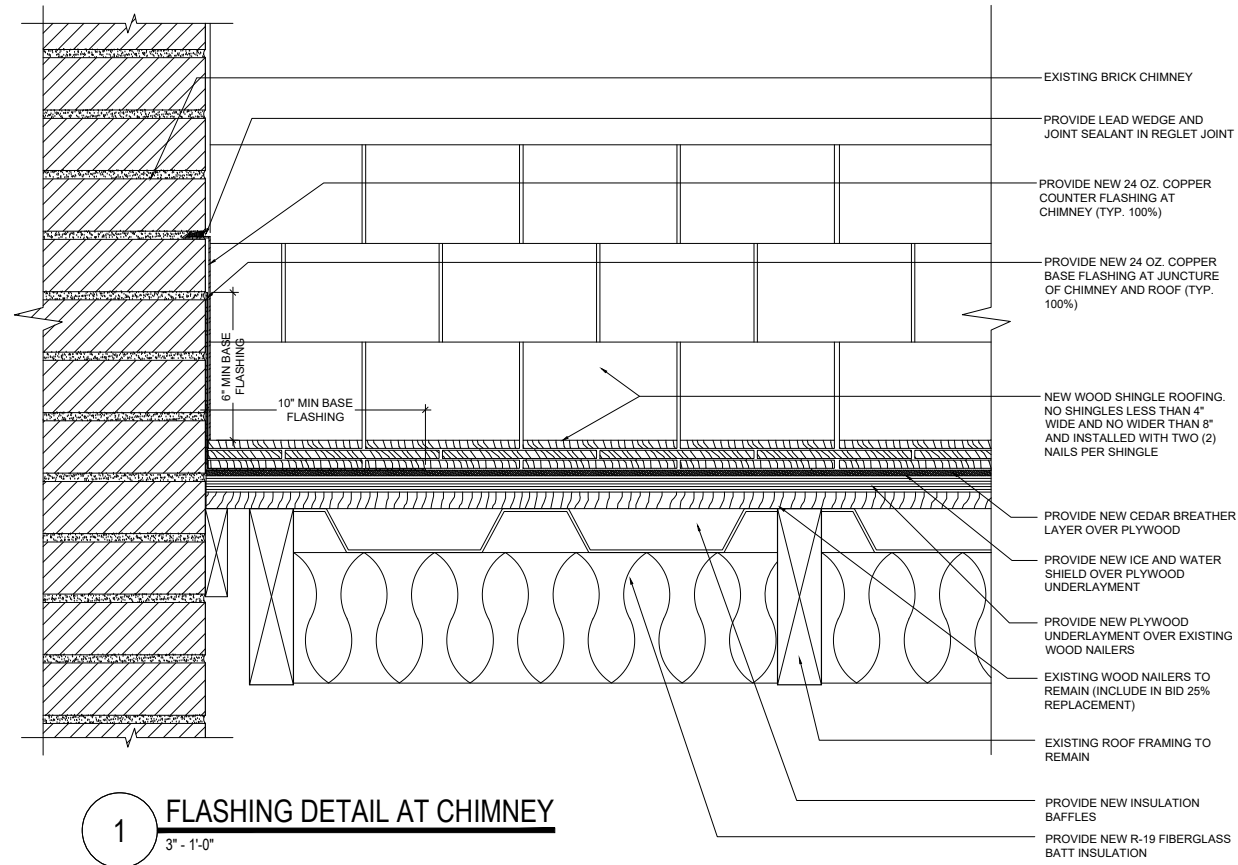
No.	Date	Description

Drawing No.

A-203



W:\JOBS\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\A-301 Roofing Details 09-22-2022.dwg



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REPAIRS TO THE
SEABROOK WILSON HOUSE
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JHPA Job No. 549-02

Drawing Title

ROOFING
DETAILS

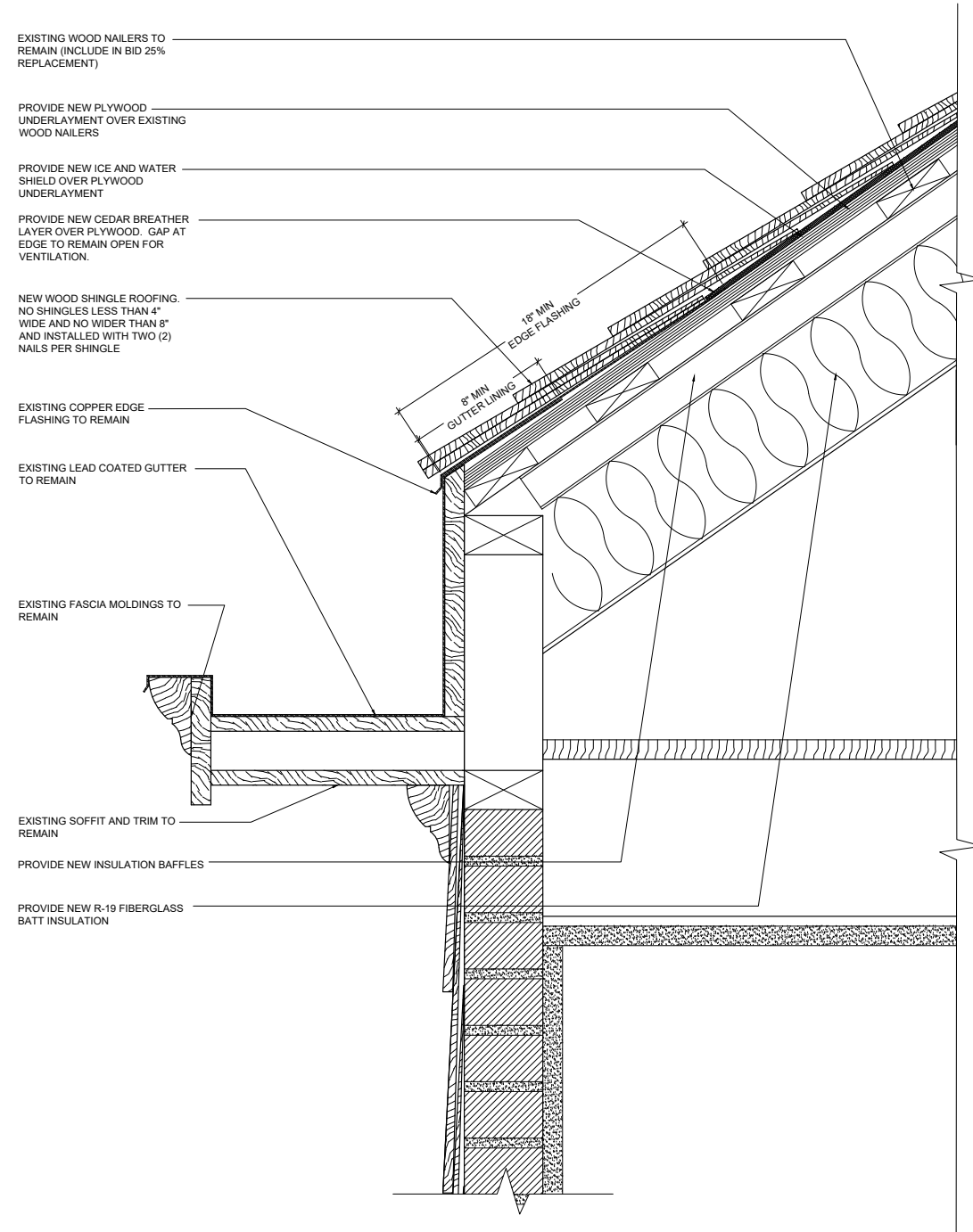
Date: 4 August 2022

Revisions		
No.	Date	Description

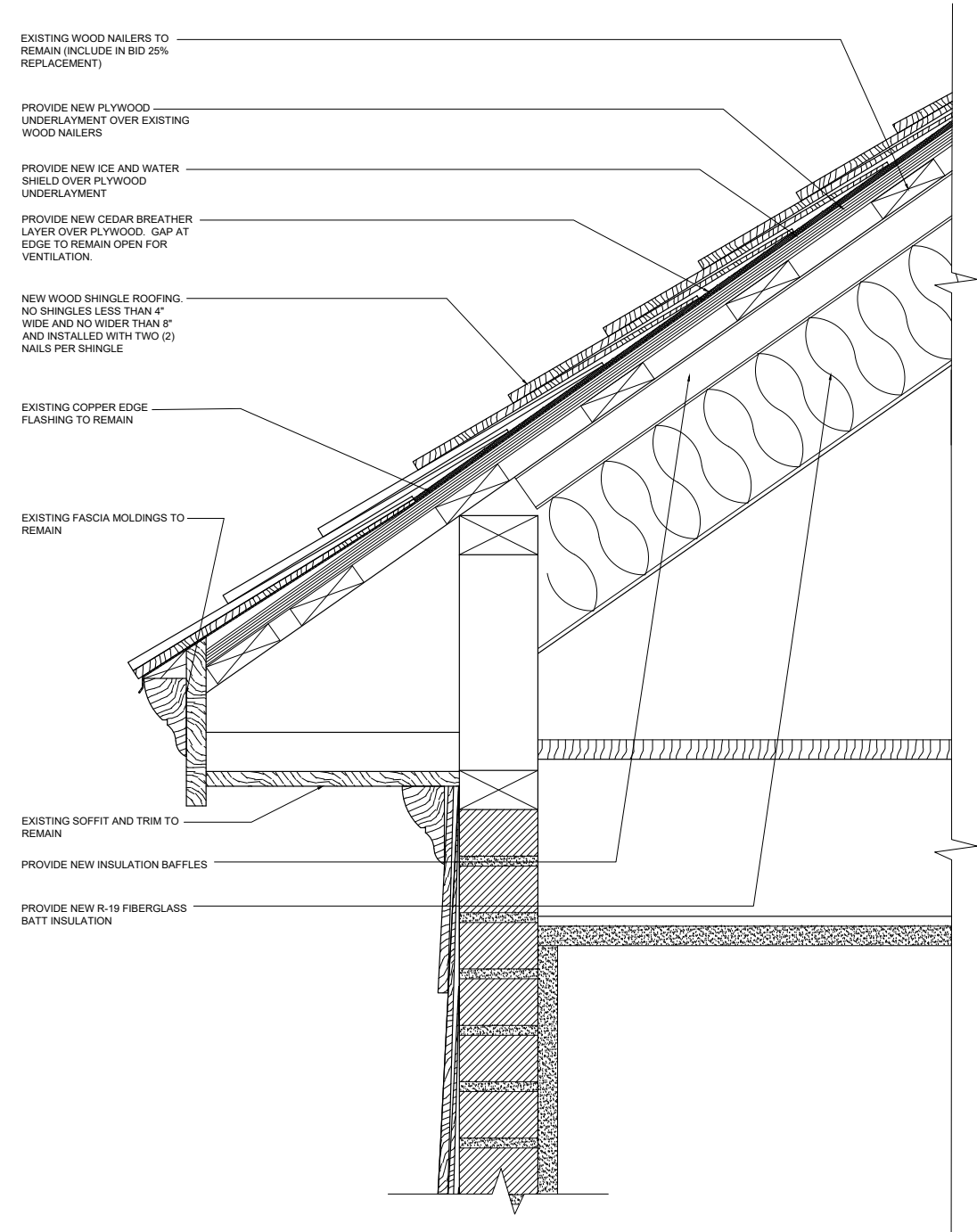
Drawing No.

A-301

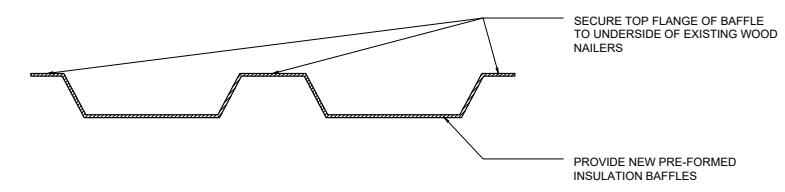
W:\JCS\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\A-302 Roofing Details 09-22-2022.dwg



1 ROOF EDGE DETAIL (TYP. AT BUILT-IN GUTTER)
3" - 1'-0"



2 ROOF EDGE DETAIL (TYP. AT N/S CORNERS)
3" - 1'-0"



3 INSULATION BAFFLE DETAIL
3" - 1'-0"

- EXISTING WOOD NAILERS TO REMAIN (INCLUDE IN BID 25% REPLACEMENT)
- PROVIDE NEW PLYWOOD UNDERLAYMENT OVER EXISTING WOOD NAILERS
- PROVIDE NEW ICE AND WATER SHIELD OVER PLYWOOD UNDERLAYMENT
- PROVIDE NEW CEDAR BREATHER LAYER OVER PLYWOOD. GAP AT EDGE TO REMAIN OPEN FOR VENTILATION.
- NEW WOOD SHINGLE ROOFING. NO SHINGLES LESS THAN 4" WIDE AND NO WIDER THAN 8" AND INSTALLED WITH TWO (2) NAILS PER SHINGLE
- EXISTING COPPER EDGE FLASHING TO REMAIN
- EXISTING LEAD COATED GUTTER TO REMAIN
- EXISTING FASCIA MOLDINGS TO REMAIN
- EXISTING SOFFIT AND TRIM TO REMAIN
- PROVIDE NEW INSULATION BAFFLES
- PROVIDE NEW R-19 FIBERGLASS BATT INSULATION

- EXISTING WOOD NAILERS TO REMAIN (INCLUDE IN BID 25% REPLACEMENT)
- PROVIDE NEW PLYWOOD UNDERLAYMENT OVER EXISTING WOOD NAILERS
- PROVIDE NEW ICE AND WATER SHIELD OVER PLYWOOD UNDERLAYMENT
- PROVIDE NEW CEDAR BREATHER LAYER OVER PLYWOOD. GAP AT EDGE TO REMAIN OPEN FOR VENTILATION.
- NEW WOOD SHINGLE ROOFING. NO SHINGLES LESS THAN 4" WIDE AND NO WIDER THAN 8" AND INSTALLED WITH TWO (2) NAILS PER SHINGLE
- EXISTING COPPER EDGE FLASHING TO REMAIN
- EXISTING FASCIA MOLDINGS TO REMAIN
- EXISTING SOFFIT AND TRIM TO REMAIN
- PROVIDE NEW INSULATION BAFFLES
- PROVIDE NEW R-19 FIBERGLASS BATT INSULATION

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REPAIRS TO THE
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JHPA Job No. 549-02

Drawing Title

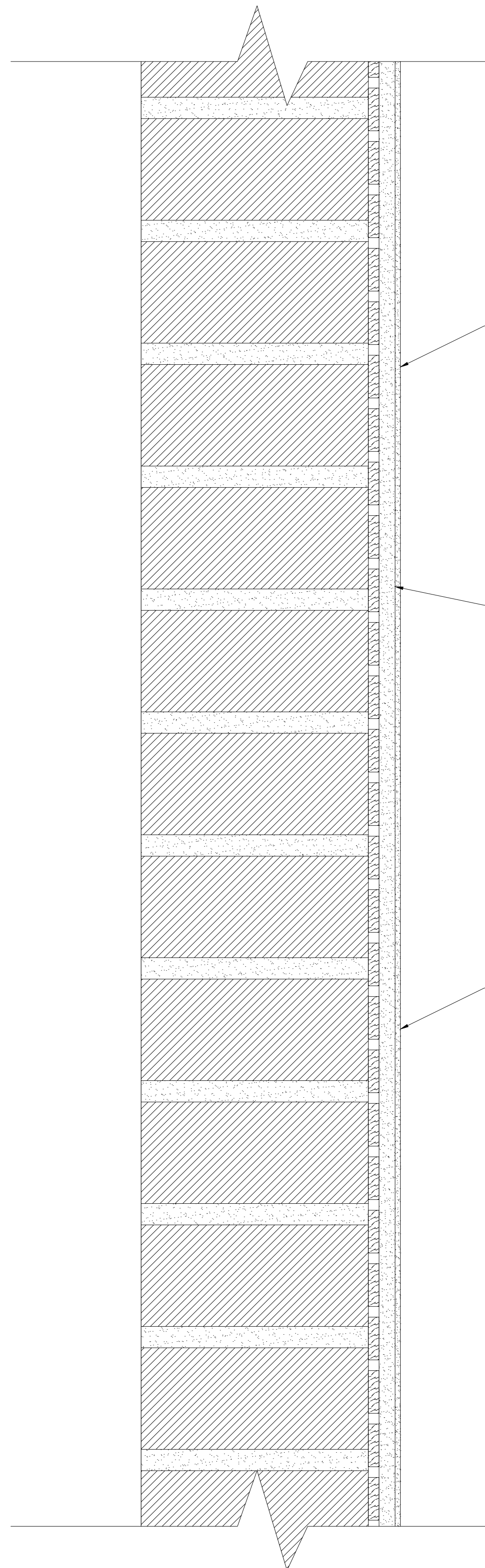
ROOFING DETAILS

Date: 4 August 2022

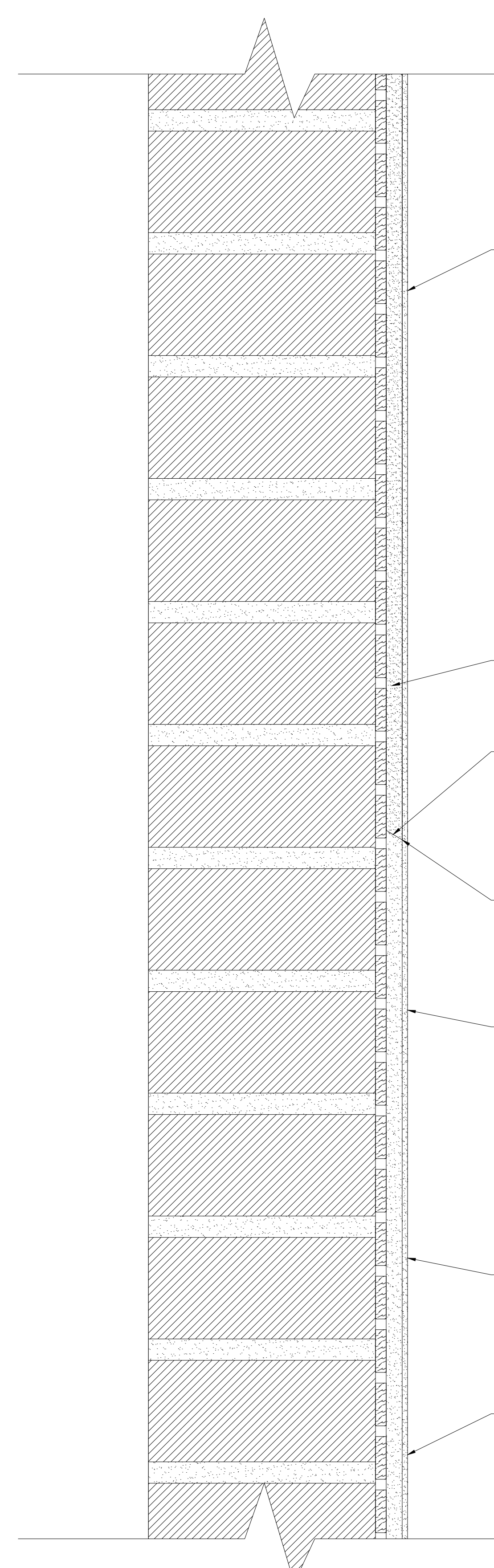
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No.	Date	Description

Drawing No.

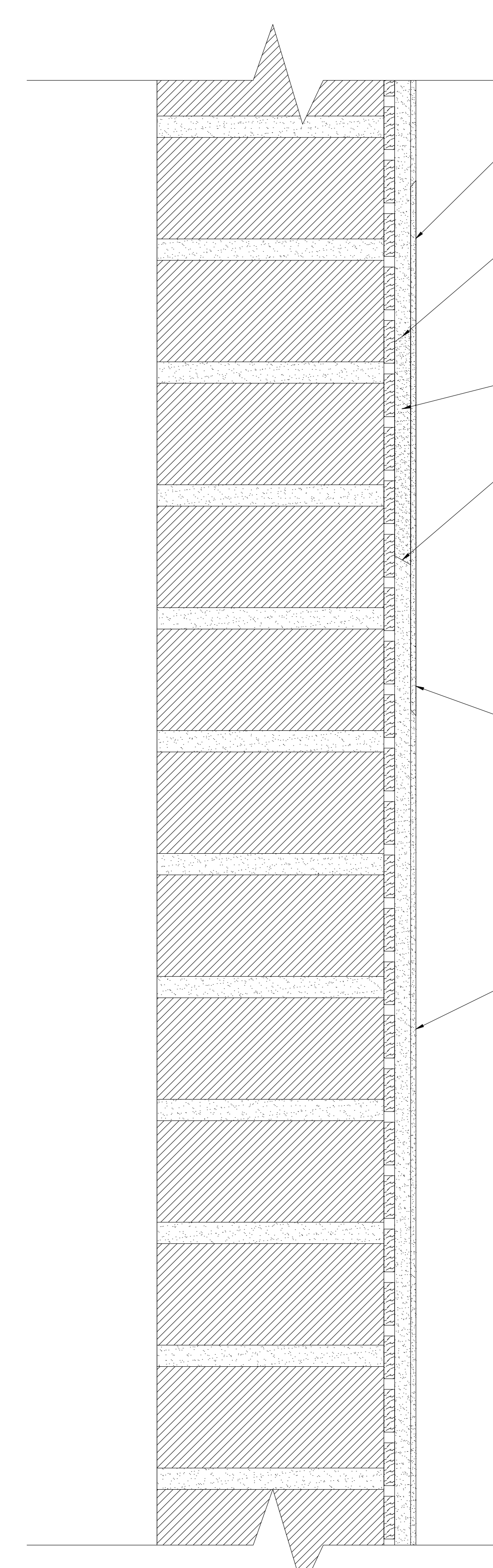
A-302



1 PLASTER REPAIR (FULL WALL REPLACEMENT)
6" - 1'-0"



2 PLASTER REPAIR (PARTIAL WALL REPLACEMENT)
6" - 1'-0"



3 PLASTER REPAIR (SMALL AREA REPAIR)
6" - 1'-0"

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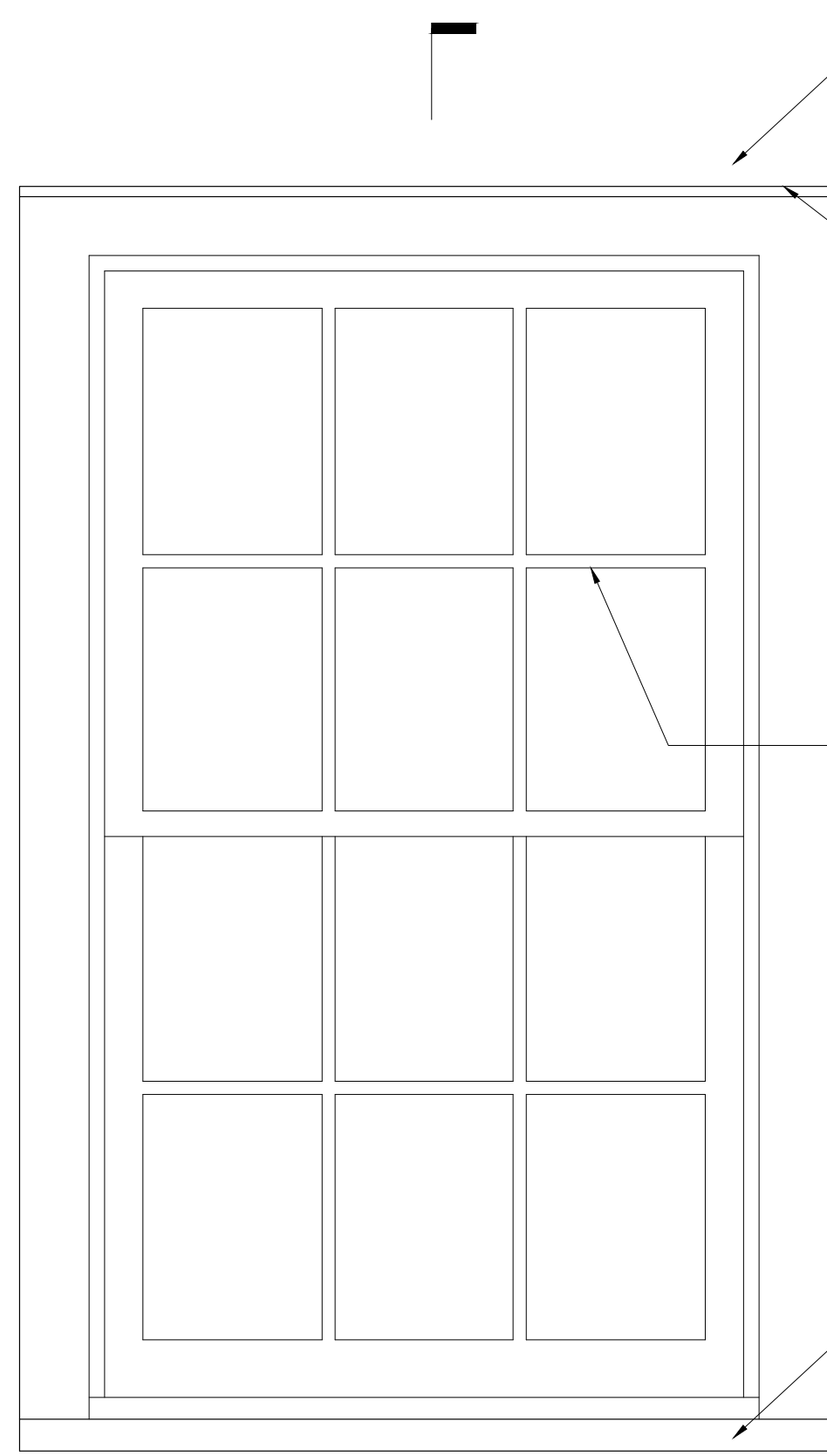
Drawing Title

PLASTER REPAIR DETAILS

Date: 4 August 2022

Revisions		
No.	Date	Description

Drawing No. **A-303**



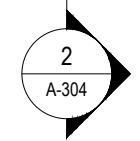
REMOVE SHINGLES AS NECESSARY TO GAIN ACCESS TO EXISTING WINDOW HEAD (TYP. FOR 7 WINDOWS AT NORTH FACADE)

PROVIDE NEW 20 OZ. COPPER FLASHING AT WINDOW HEAD. EXTEND UP FACADE A MIN. OF 4" AND OVER FACE OF DRIP MOLDING A MIN. OF 3/8". (TYP. FOR 7 WINDOWS AT NORTH FACADE.)

REMOVE EXISTING SASH AND STORM SASH AND PROVIDE TEMPORARY PROTECTION AS NECESSARY DURING HEAD AND SILL REPAIRS.

PROVIDE NEW WOOD SILL TO MATCH EXISTING. (INCLUDE IN BID THREE (3) SILLS AT NORTH FACADE)

REMOVE SHINGLES AS NECESSARY TO GAIN ACCESS TO EXISTING WINDOW SILL (TYP. FOR 2 WINDOWS AT NORTH FACADE)



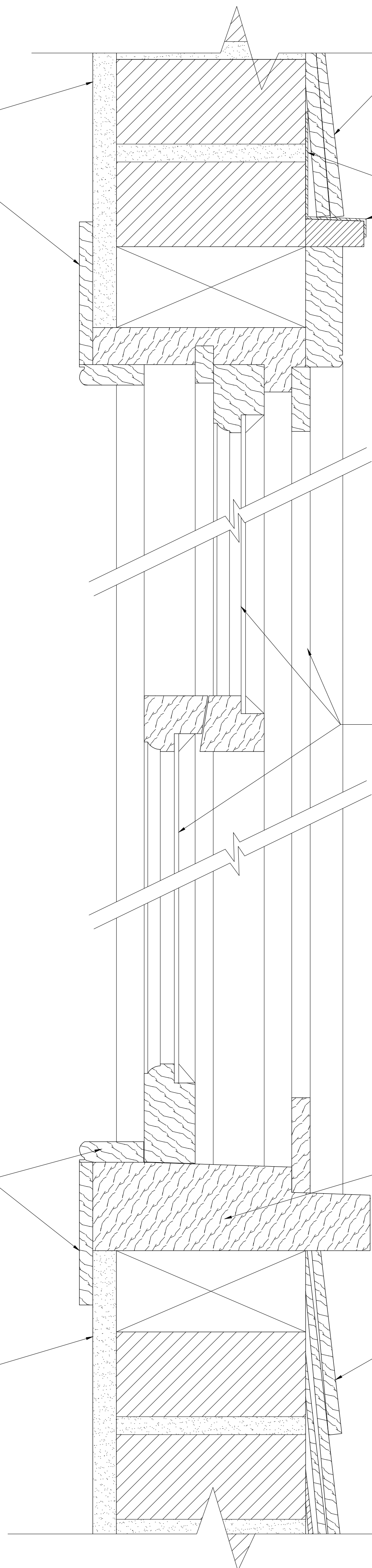
1 TYP. WINDOW ELEVATION
1 1/2" - 1'-0"

REFER TO SHEETS A-101, A-102 AND A-303 FOR PLASTER REPAIR SCOPE

REMOVE AND SALVAGE WOOD WINDOW MOLDINGS AS NECESSARY TO COMPLETE PLASTER REPAIRS.

REMOVE AND SALVAGE WOOD WINDOW MOLDINGS AS NECESSARY TO COMPLETE SILL AND PLASTER REPAIRS.

REFER TO SHEET A-101, A-102, AND A-303 FOR PLASTER REPAIR SCOPE



REMOVE SHINGLES AS NECESSARY TO GAIN ACCESS TO EXISTING WINDOW HEAD (TYP. FOR 7 WINDOWS AT NORTH FACADE)

PROVIDE NEW 20 OZ. COPPER FLASHING AT WINDOW HEAD. EXTEND UP FACADE A MIN. OF 4" AND OVER FACE OF DRIP MOLDING A MIN. OF 3/8". (TYP. FOR 7 WINDOWS AT NORTH FACADE.)

REMOVE EXISTING SASH AND STORM SASH AND PROVIDE TEMPORARY PROTECTION AS NECESSARY DURING HEAD AND SILL REPAIRS.

PROVIDE NEW WOOD SILL TO MATCH EXISTING. (INCLUDE IN BID FOUR (4) SILLS AT NORTH FACADE)

REMOVE SHINGLES AS NECESSARY TO GAIN ACCESS TO EXISTING WINDOW SILL (TYP. FOR 4 WINDOWS AT NORTH FACADE)

2 TYP. WINDOW SECTION
6" - 1'-0"

W:\JOBS\549-02 - Seabrook Wilson House - MCPS - Repair\ACAD\A-304 Window Details.dwg

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DO NOT SCALE DRAWINGS.
JHPA Job No. 549-02

Drawing Title
WINDOW DETAILS

Date: 4 August 2022

Revisions		
No.	Date	Description

Drawing No.

A-304